

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar or paper copy of plat with property owner’s and City Surveyor’s signatures on it to the meeting. Your attendance is required.

SKETCH PLAT REVIEW AND COMMENT

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - ___ Zone Atlas map with the entire site clearly outlined and labeled
 - ___ Letter describing, explaining, and justifying the request
 - ___ Scale drawing of the proposed subdivision plat
 - ___ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements, if there is any existing land use

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - ___ Zone Atlas map with the entire site clearly outlined and labeled
 - ___ Proposed Final Plat
 - ___ Design elevations & cross sections of perimeter walls
 - ___ Copy of recorded IIA
 - ___ Landfill disclosure and EHD signature line on the plat if property is within a landfill buffer
 - ___ DXF file and hard copy of final plat data for AGIS submitted and approved

SUBDIVISION OF LAND – MINOR (PRELIMINARY/FINAL PLAT APPROVAL)

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ✓ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - ✓ Zone Atlas map with the entire site clearly outlined and labeled
 - ✓ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)
 - ✓ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
 - ✓ Proposed Preliminary / Final Plat with property owner’s and City Surveyor’s signatures on the plat prior to submittal.
 - ✓ Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way, and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use
 - ✓ Sidewalk Exhibit and/or cross sections of proposed streets
 - ✓ Signed Form DRWS Drainage Report Grading and Drainage Plan, and Water & Sewer Availability submittal information
 - ✓ Proposed Infrastructure List, if applicable
 - ✓ Required notice with content per IDO Section 14-16-6-4(K)
 - ✓ Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ✓ Sensitive Lands Site Analysis for new subdivisions of land in accordance with IDO Section 5-2(C)
 - N/A Landfill disclosure and Environmental Health Department signature line on the plat if property is within a landfill buffer
 - ✓ DXF file and hard copy of final plat data for AGIS submitted and approved


Note: Any application that requires major public infrastructure must be processed as a Subdivision of Land - Major. See Form S1.

MINOR AMENDMENT TO PRELIMINARY PLAT / INFRASTRUCTURE LIST

- Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ___ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form S2 at the front followed by the remaining documents in the order provided on this form.
 - ___ Zone Atlas map with the entire site clearly outlined and labeled
 - ___ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
 - ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan
 - ___ Infrastructure List, if applicable

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	

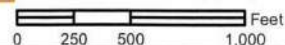
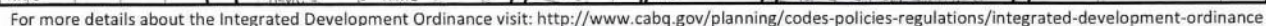


Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input checked="" type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Design Review Board approval of the Plat to combine the two lots and dedicate right-of-way along Volcano Rd, based upon approved City Council vacation request and DRB Site Plan (PR 2020-004757)		

APPLICATION INFORMATION		
Applicant: Volcano RV LP		Phone: 409-973-4882
Address: 119 6th Ave SW, Suite 100		Email: blockhorst@macritchie.biz
City: Calgary	State: Alberta	Zip: T2P 0P8
Professional/Agent (if any): Stephen Litsas, Kimley-Horn		Phone: 720-647-6231
Address: 4582 S Ulster St, Suite 1500		Email: stephen.litsas@kimley-horn.com
City: Denver	State: CO	Zip: 80237
Proprietary Interest in Site: Owner / Developer		List all owners: Volcano RV LP
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract C48 & C49		Block: Unit 4
Subdivision/Addition: Town of Atrisco Grant		MRGCD Map No.: UPC Code: 100905746717740609
Zone Atlas Page(s): K-09-Z	Existing Zoning: NR-BP	Proposed Zoning
# of Existing Lots: 2	# of Proposed Lots: 1	Total Area of Site (Acres): 9.59
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: No address, Volcano Rd	Between: Central Ave	and: Bristol St
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

Signature:		Date: 11/16/2021	
Printed Name: Stephen Litsas		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
FOR OFFICIAL USE ONLY			
Case Numbers	Action	Fees	Case Numbers
Meeting Date:		Fee Total:	
Staff Signature:		Date:	Project #





11/16/2021

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: DRB Review – Subdivision (Minor Plat) Letter of Introduction – PR-2020-004757

Dear DRB,

Kimley-Horn is pleased to submit this Letter of Introduction on behalf of our Client, Volcano RV LP, for the Subdivision of Land – Minor Platting process (herein referred to as the “Project”).

The Project Site Plan was conditionally approved by the DRB on May 5, 2021 (PR-2020-004757). In addition, the right-of-way vacation of Volcano Rd was approved by the August 16th, 2021 by City Council. After the completion of that vacation, Macritchie Storage Ventures completed the purchase of the property and vested it under Volcano RV LP. As the owner of the project, Volcano RV LP now seeks to complete the required platting of the Project property.

This specific plat includes the combination of Lots C48 and C49 into proposed Tract C49-A. In addition, it dedicates 0.121-ac of right-of-way to the City of Albuquerque for the installation of a cul-de-sac along Volcano Road.

The plat is seeking a Subdivision of Land – Minor approval, based upon the criteria within IDO 14-16-6-6(K)(1). The Plat has been signed by the City surveyor and by Volcano RV LP. DXF files for the Plat have been provided to City Surveyor

The above described use will adhere to the codes and requirements outlined within the City’s design standards. We are excited to bring this project to the City.

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen Litsas", with a stylized flourish at the end.

Stephen Litsas
Kimley-Horn



Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Brennon Williams, Director

DATE: March 4, 2021

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation; A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico.

Case Number(s): PR2020-004757
Agent: Toni Gori
Applicant: Ben Lokhorst
Legal Description: Tract C48 and C49, Unit 4 of Town of Atrisco Grant
Zoning:
Acreage: 9.54 ac
Zone Atlas Page(s): Zone Atlas Map: K-09-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☐ No

SUPPORTING DOCUMENTATION:

See NMCEIS NIAF (#147375) attached.

SITE VISIT: Conducted on 2/17/2021.

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

Date

NMCRI INVESTIGATION ABSTRACT FORM (NIAF)

1. NMCRI Activity No.: 147375	2a. Lead (Sponsoring) Agency: City of Albuquerque	2b. Other Permitting Agency(ies):	3. Lead Agency Report No.:									
4. Title of Report: A Class I and Class III Cultural Resources Survey of 9.54 acres of private land in Bernalillo County, New Mexico. Author(s) Paula Pflepsen			5. Type of Report <input checked="" type="checkbox"/> Negative <input type="checkbox"/> Positive									
6. Investigation Type <input type="checkbox"/> Research Design <input checked="" type="checkbox"/> Survey/Inventory <input type="checkbox"/> Test Excavation <input type="checkbox"/> Excavation <input type="checkbox"/> Collections/Non-Field Study <input checked="" type="checkbox"/> Overview/Lit Review <input type="checkbox"/> Monitoring <input type="checkbox"/> Ethnographic study <input type="checkbox"/> Site specific visit <input type="checkbox"/> Other												
7. Description of Undertaking (what does the project propose): A private developer plans to purchase a vacant parcel for development of an RV park. Client is required to submit an archeological certificate in site plan DRB package in accordance with IDO Section 14-16-6-5. Our site is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.		8. Dates of Investigation: (from: 2/17/2021-2/17/2021)										
10. Performing Agency/Consultant: TRC, Inc. Principal Investigator: Paula Pflepsen Field Supervisor: Field Personnel Names: N/A		9. Report Date: 2/18/21										
13. Client/Customer (project proponent): Kimley Horn Contact: Ben Lokhorst MacRitchie, Inc. 715 5th Ave SW Suite 1700 Calgary AB T2P 2X6, Canada (403) 973-4882		11. Performing Agency/Consultant Report 431377-C-01 12. Applicable Cultural Resource Permit No(s): New Mexico State Permit NM-22-028-S										
14. Client/Customer Project No.:												
15. Land Ownership Status (<u>Must</u> be indicated on project map): <i>Record Review ONLY</i> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%;">Land Owner</th> <th style="width: 25%;">Acres Surveyed</th> <th style="width: 25%;">Acres in APE</th> </tr> </thead> <tbody> <tr> <td>Private</td> <td>9.54</td> <td>9.54</td> </tr> <tr> <td style="text-align: right;">TOTALS</td> <td>9.54</td> <td>9.54</td> </tr> </tbody> </table>				Land Owner	Acres Surveyed	Acres in APE	Private	9.54	9.54	TOTALS	9.54	9.54
Land Owner	Acres Surveyed	Acres in APE										
Private	9.54	9.54										
TOTALS	9.54	9.54										
16 Records Search(es): The continuation form has the results of the Class I records searches (Figures 14–16). No known sites occur within the immediate vicinity of the project area.												
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;">Date(s) of ARMS File Review 2/14/2021</td> <td style="width: 30%;">Name of Reviewer(s)</td> <td style="width: 30%;"></td> </tr> <tr> <td>Date(s) of NR/SR File Review 2/15/2021</td> <td>Name of Reviewer(s) Paula Pflepsen</td> <td></td> </tr> <tr> <td>Date(s) of Other Agency File Review</td> <td>Name of Reviewer(s)</td> <td>Agency</td> </tr> </table>				Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)		Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflepsen		Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency
Date(s) of ARMS File Review 2/14/2021	Name of Reviewer(s)											
Date(s) of NR/SR File Review 2/15/2021	Name of Reviewer(s) Paula Pflepsen											
Date(s) of Other Agency File Review	Name of Reviewer(s)	Agency										
17. Survey Data: <p>a. Source Graphics <input type="checkbox"/> NAD 27 <input checked="" type="checkbox"/> NAD 83 <input checked="" type="checkbox"/> USGS 7.5' (1:24,000) topo map <input type="checkbox"/> Other topo map, Scale: <input checked="" type="checkbox"/> GPS Unit Accuracy <input type="checkbox"/> <1.0m <input checked="" type="checkbox"/> 1-10m <input type="checkbox"/> 10-100m <input type="checkbox"/> >100m</p> <p>b. USGS 7.5' Topographic Map Name USGS Quad Code</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <tr> <td style="width: 60%;">Albuquerque West</td> <td style="width: 40%;">35106-A6</td> </tr> </table> <p>c. County(ies): Bernalillo</p>				Albuquerque West	35106-A6							
Albuquerque West	35106-A6											

17. Survey Data (continued):**d. Nearest City or Town:** Albuquerque, New Mexico**e. Legal Description:**

Township (N/S)	Range (E/W)	Section	1/4	1/4	1/4
10N	2E	21	NE	SW	SE

Projected legal description? Yes [] , No [X] Unplatted []

f. Other Description (e.g. well pad footages, mile markers, plats, land grant name, etc.): Project parcel is located at Tracts C48 and C49 Unity 4, Town of Atrisco Grant.**18. Survey Field Methods:****Intensity:** ☒ 100% coverage ☐ <100% coverage**Configuration:** ☒ block survey units ☐ linear survey units (l x w): ☐ other survey units (specify):**Scope:** ☒ non-selective (all sites recorded) ☐ selective/thematic (selected sites recorded)**Coverage Method:** ☒ systematic pedestrian coverage ☐ other method (describe)**Survey Interval (m):** 15 m **crew Size:** 1 **Fieldwork Dates:** 2/17/21**Survey Person Hours:** 1 **Recording Person Hours:** 0 **Total Hours:** 1**Additional Narrative:** The parcel is an undeveloped vacant lot in southwest Albuquerque.**19. Environmental Setting (NRCS soil designation; vegetative community; elevation; etc.):**

The project area is associated with the Pajarito loamy fine sands soil. The Pajarito loamy fine sands soil is commonly found on plains and alluvial fans at elevations ranging from 1,400 feet (ft) to 6,000 ft above mean sea level (amsl) with slopes ranging from 1 to 9 percent. The project area for this undertaking falls within the Albuquerque Basin ecoregion (Griffith et al. 2006). Vegetation within this ecoregion is associated with shortgrass prairie, including grama grasses, sand and mesa dropseed, and sand sagebrush (Griffith et al 2006).

20. a. Percent Ground Visibility: 75–99% **b. Condition of Survey Area (grazed, bladed, undisturbed, etc.):** Sand, limited scrub vegetation, development surrounds the parcels**21. CULTURAL RESOURCE FINDINGS** ☐ Yes ☒ No, Discuss Why: Undeveloped parcel surrounded by development, two IOs-both historic metal noted with contemporary trash including plastic, rubber, glass, paper, metal and modern beer/soda cans.**22. Required Attachments (check all appropriate boxes):**

- ☒ USGS 7.5 Topographic Map with sites, isolates, and survey area clearly drawn
☒ Copy of NMCRIS Mapserver Map Check
☐ LA Site Forms - new sites (*with sketch map & topographic map*)
☐ LA Site Forms (update) - previously recorded & un-relocated sites (*first 2 pages minimum*)
☐ Historic Cultural Property Inventory Forms
☐ List and Description of isolates, if applicable
☐ List and Description of Collections, if applicable

23. Other Attachments:
☐ Photographs and Log
☒ Other Attachments
(Describe): aerial map, soil map, ARMS site searches**24. I certify the information provided above is correct and accurate and meets all applicable agency standards.****Principal Investigator/Responsible Archaeologist:** Paula Pflepsen/Toni R. Goar

Signature



Date 2/18/21 Title (if not PI):

25. Reviewing Agency:
Reviewer's Name/Date

Accepted () Rejected ()

Tribal Consultation (if applicable): ☐ Yes ☐ No**26. SHPO****Reviewer's Name/Date:**

HPD Log #:

SHPO File Location:

Date sent to ARMS:

CULTURAL RESOURCE FINDINGS

[fill in appropriate section(s)]

1. NMCRIS Activity No.: 147375	2. Lead (Sponsoring) Agency: City of Albuquerque	3. Lead Agency Report No.:
SURVEY RESULTS: Sites discovered and registered: 0 Sites discovered and NOT registered: 0 Previously recorded sites revisited <i>(site update form required)</i> : 0 Previously recorded sites not relocated <i>(site update form required)</i> : 0 TOTAL SITES VISITED: 0 Total isolates recorded: 2 Non-selective isolate recording? <input checked="" type="checkbox"/> Total structures recorded <i>(new and previously recorded, including acequias)</i> : 0 MANAGEMENT SUMMARY: The cultural resource survey did not identify any eligible cultural resources within project parcel. Two isolated occurrences were found; both were historic metal. Old Route 66 is located outside of the parcel and although it is visible from the project location the proposed development will fit in with current surroundings and will have no direct or indirect effect on the resource. SURVEY LA NUMBER LOG <u>IF REPORT IS NEGATIVE YOU ARE DONE AT THIS POINT.</u>		

NMCRIS #147375

NIAF, Continuation Form

Previous Research

Class I ARMS Search

Previous surveys within 0.5-mile (0.8-km) of the project area

NMCRIS	Reference
131836	Kerr 2014
129761	Goar and Chavez 2014
100381	Raymond 2006
112452	Parish et al. 2009
131773	Fredine et al. 2014
134029	Lawrence et al. 2017
108614	Lawrence 2007
7006	Noyes 1985
35897	Noyes 1985

Class I ARMS Search

Known sites within 0.5-mile (0.8-km) of the proposed project area

Site No.	Land Status	Cultural Affiliation	National Register Eligibility	References	NMCRIS
31220	Private	Navajo (1880- AD-1929 AD)	N/A	Giplin et al. 1994	50302
31228	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
31229	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
42596	Navajo Nation	Unknown	Eligible	N/A	92657
137658	N/A	N/A	N/A	Deleted	80780
31227	Private	Navajo (1500 AD-1993 AD)	N/A	Hartman 1977	16580
180319	N/A	N/A	N/A	Kerr 2014	131836
180320	N/A	N/A	N/A	Kerr 2014	131836
31226	Private	Navajo (1500 AD-1993 AD; 1945 AD-1993 AD)	N/A	Hartman 1977	16580
50336	Private	Ancestral Pueblo (1 AD-1600 AD); Hispanic (1945 AD-1993 AD)	N/A	Kayser 1995	7069

References

Fredine, Jeff, Hollis Paul Lawrence, Cheryl Somer
2014 Cultural Resources Inventory Report for Central Avenue Corridor Bus Rapid Transit (BRT), Albuquerque Rapid Transit (ART), City of Albuquerque, Bernalillo County, New Mexico. Report PB-2014-10. NMCRIS 131773.

- Gilpin, Dennis, Jean A. Mercer, Angela R. Linse, and Cherie L. Scheick
2017 Ethnography and Archaeology on Selected Parcels of McKinley Mine, McKinley County, New Mexico Report 94-40. NMCRIS 50302.
- Goar, Toni R. and Christina Chavez
2014 A Cultural Resource Survey for the Daytona Distribution Center, Albuquerque, Bernalillo County, New Mexico. Report 14009.09. NMCRIS 129761.
- Griffith, G.E., Omernik, J.M., McGraw, M.M., Jacobi, G.Z., Canavan, C.M., Schrader, T.S., Mercer, D., Hill, R., and Moran, B.C.,
2006 Ecoregions of New Mexico (color poster with map, descriptive text, summary tables, and photographs): Reston, Virginia, U.S. Geological Survey (map scale 1:1,400,000)
- Hartman, Russell P.
1977 Archaeological Clearance Survey Report of a Tract of Land in the Vicinity of McKinley Mine, McKinley County, New Mexico. Report NA. NMCRIS 16580.
- Kayser, David W.
1995 An Addendum to the Archeological Clearance Report for Enerdex, Inc.'s Proposed Blue Star Federal No. 1 Well Pad Project Situated on Fee Surface-Federal Minerals Lands in Eddy County, N.M. Report 95005. NMCRIS 50336.
- Kerr, R. Stanley
2014 A Cultural Resource Survey for a Proposed Housing Development Project, 90th Street, Albuquerque, Bernalillo County, New Mexico. Report 14055.09. NMCRIS 131836.
- Lawrence, Hollis P.
2007 Cultural Resource Survey for Phases I and II of the Unser Boulevard South Improvement Project, City of Albuquerque, Bernalillo County, New Mexico. Report HCC-2007-16. NMCRIS 108614.
- Lawrence, Hollis P., Darryl Del Frate, and Jeff Fredine
2017 Unser Boulevard Roadway Improvements Project; City of Albuquerque, Bernalillo County, New Mexico. Report PB-2015-07. NMCRIS 134029.
- Noyes, Peter T.
1985 A Cultural Resources Survey of an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico. Report 185-262. NMCRIS 7006.
1985 Letter Report: Addendum to "A Cultural Resources Survey on an AT&T Communications Buried Cable Right-of-Way Near Albuquerque, New Mexico (UNM Proposal 185-262). Report 185-262A. NMCRIS 35897.
- Parrish, Chris, Tom Shine, Beau DeBoer, and Nicholas Parker
2009 A Cultural Resource Inventory for the PNM-Central 13 Reconductor Project in Albuquerque Bernalillo County, New Mexico. Report 2008-78. NMCRIS 112452.
- Raymond, Gerry
2006 Negative Cultural Resource Survey Report for a Proposed Cell Tower Location at the Northwest Corner of Bluewater Road and Oliver Ross Drive in Albuquerque, Bernalillo County, New Mexico. Report NM01263D. NMCRIS 100381.

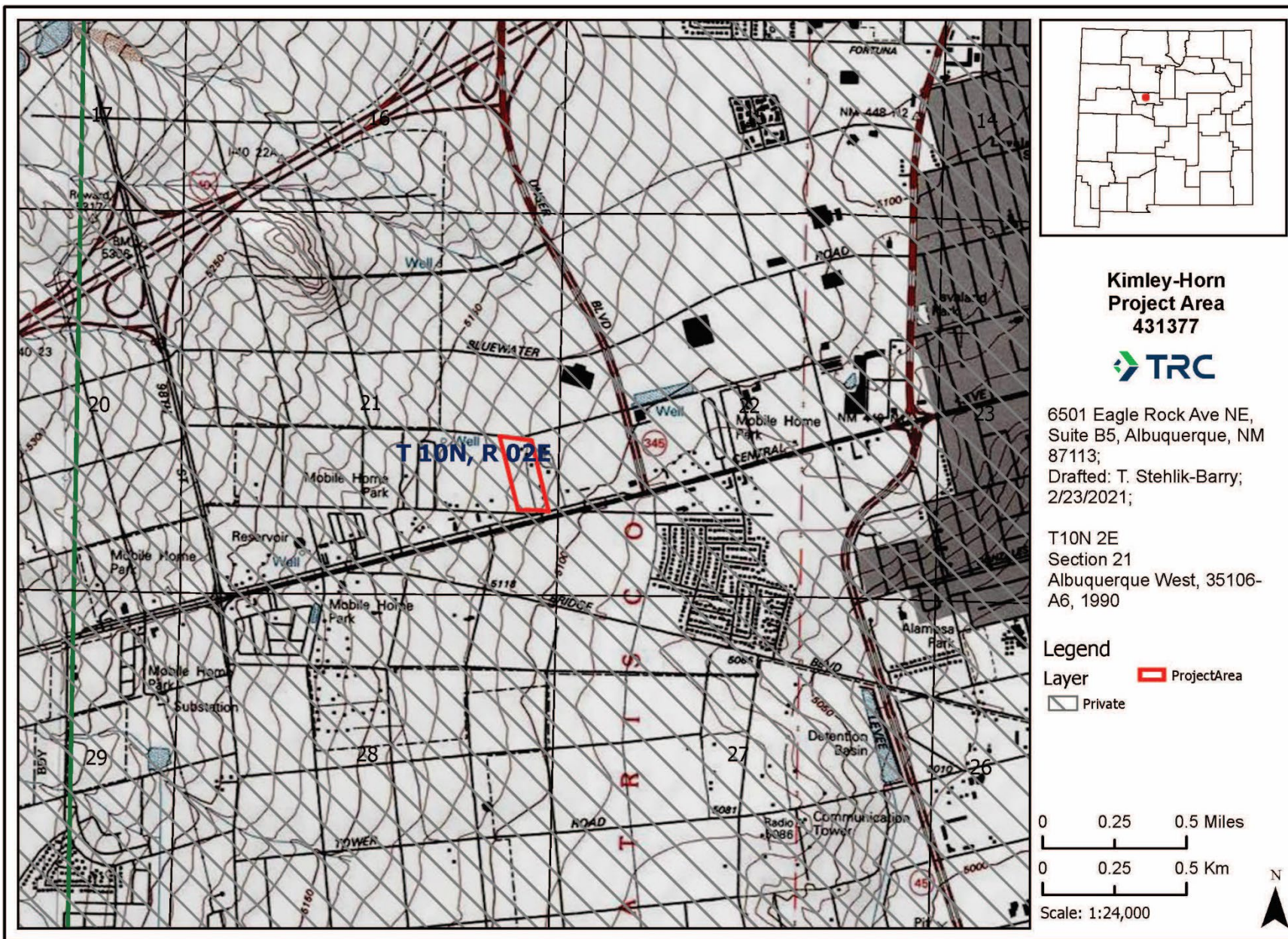


Figure 1 Project Location Quad Map

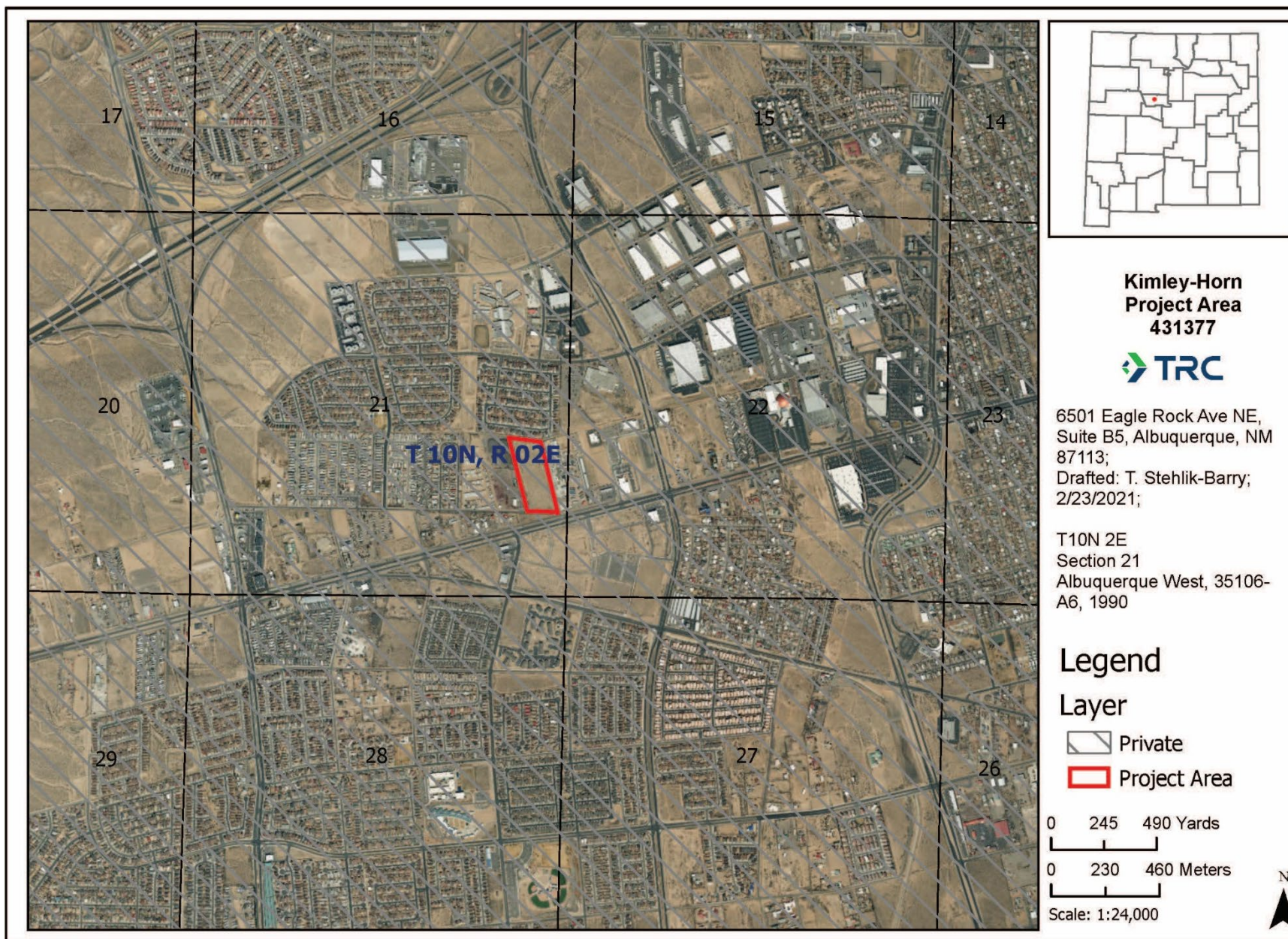


Figure 2 Aerial Map of Project Location

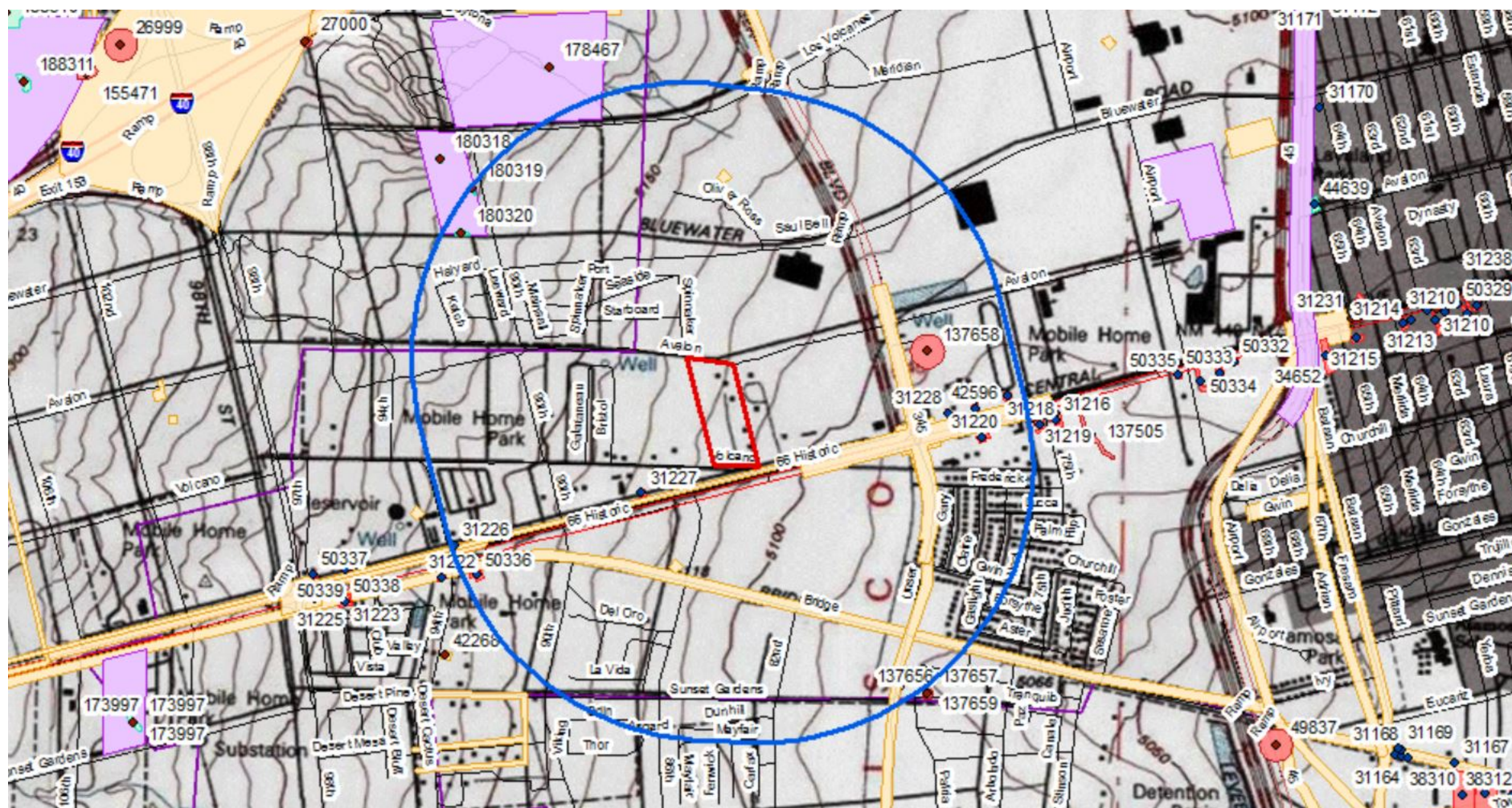
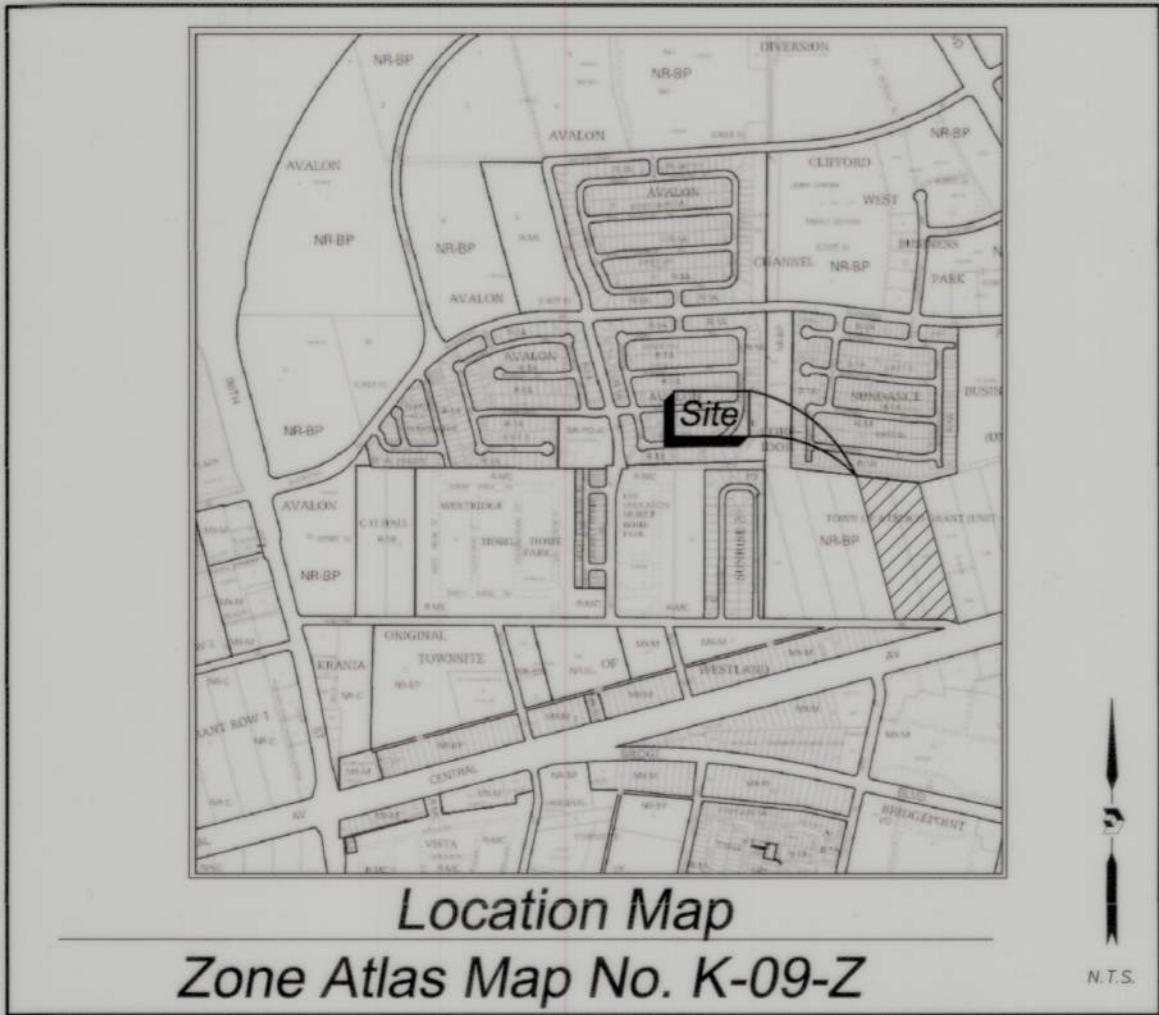


Figure 3 ARMS mapserver



Figure 4 Soils Map



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: .0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 15°27'28" W, A DISTANCE OF 1035.89 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE S 83°40'24" E, A DISTANCE OF 448.10 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS. RIGHTS OF WAY. ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

THE REPLAT (CONSOLIDATION) SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

WILL MATTHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

Acknowledgment

STATE OF NEW YORK) SS
COUNTY OF ONTARIO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF November, 2021 BY WILL MATTHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY Patrick J. Quigley MY COMMISSION EXPIRES: April 5, 2023
NOTARY PUBLIC

PATRICK J. JR. QUIGLEY
Notary Public, State of New York
Qualified in Ontario County
No. 02QU6022663
Commission Expires April 5, 2023

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

Project No. PR-2020-004757

Application No. SD-2021-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021

CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

M.R.G.C.D. _____ DATE _____

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCRONCHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO 11/08/2021
N.M.P.S. No. 11993 DATE

WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE STAMP OR EMBOSSED STAMP



COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID/GROUND COORDINATES: GRID	TYPE: STANDARD		LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP		CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS: YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM	UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611	ADDRESS NOT ASSIGNED		PSI JOB NO. 204146P	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO			

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

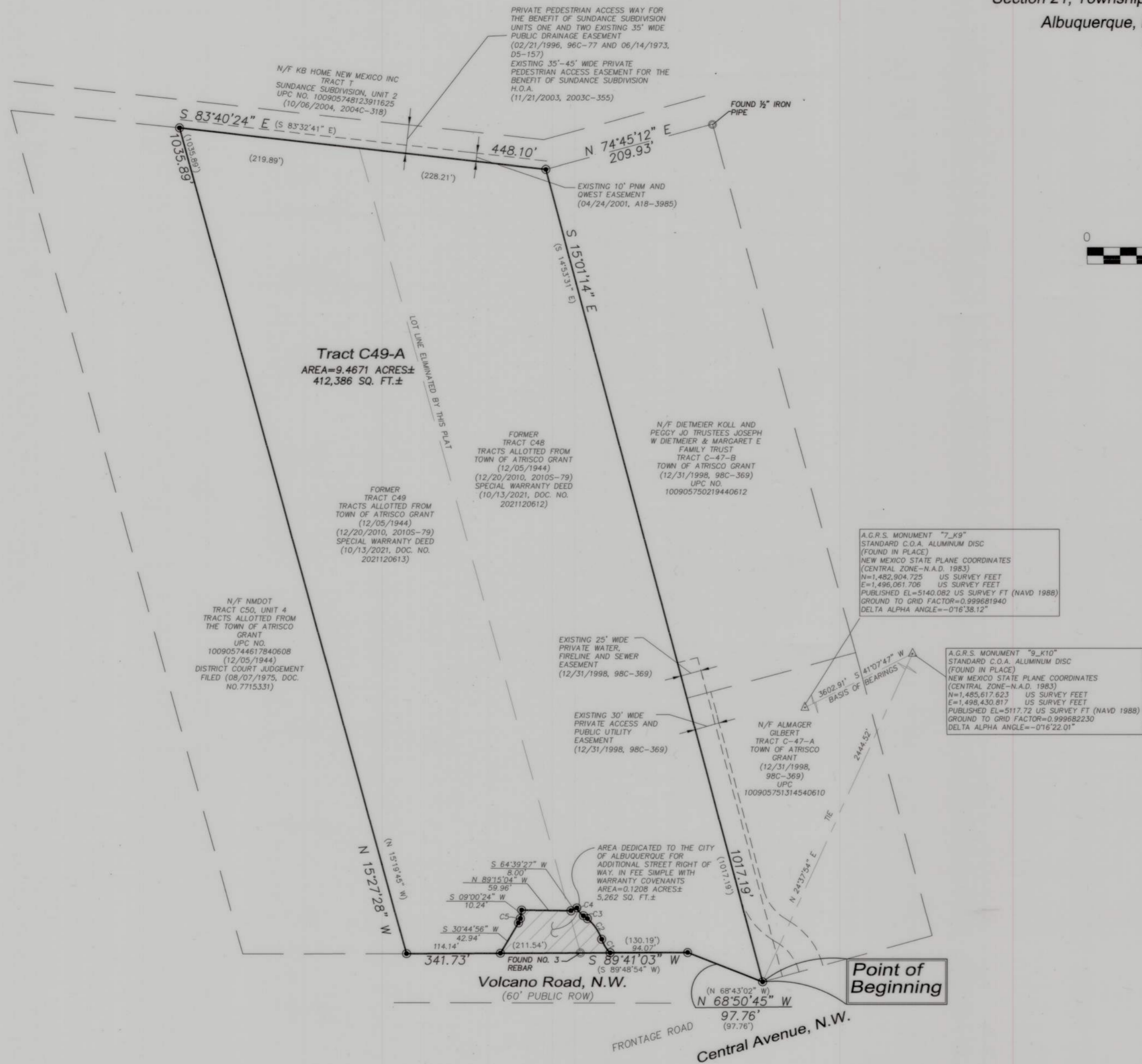
505.856.5700 PHONE
505.856.7900 FAX

Legend

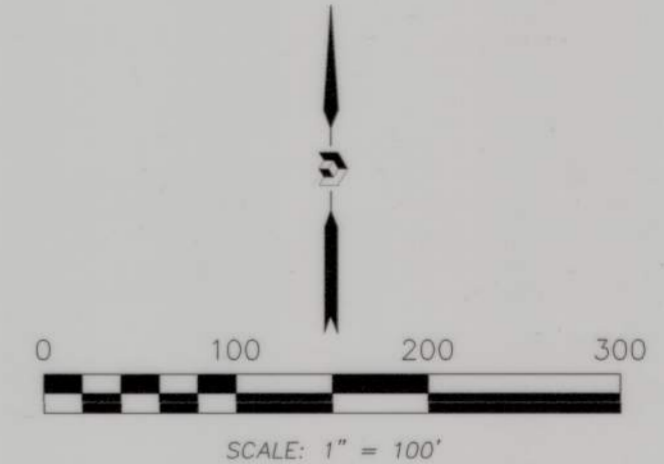
N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°55'12" W	11°39'28"



Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021



COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION		PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID / GROUND COORDINATES: GRID	TYPE: STANDARD		LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP		CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM		BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE	COUNTY BERNALILLO	STATE NM		UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611	ADDRESS NOT ASSIGNED	PSI JOB NO. 204146P	SHEET NUMBER 2 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085		DISTANCE ANNOTATION: GROUND									
		BEARING ANNOTATION: GRID									
		ELEVATION TRANSLATION: ±0.00'	ELEVATIONS VALID: NO								

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

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LEGAL DESCRIPTION:

PARCEL 1:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST OF THE N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AS THE SOUTHWEST CORNER OF SAID TRACT, BEING A SET 5/8 REBAR WITH PLASTIC CAP STAMPED LS 8911, ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO NORTHWEST BEING THE TRUE PLACE OF POINT AND BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION S 64° 57' 12" W, A DISTANCE OF 1244.30 FEET;
THENCE, N 15° 19' 45" W, A DISTANCE OF 1009.53 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING A POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION UNIT 2, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
THENCE, S 83° 32' 41" E, A DISTANCE OF 228.21 FEET ALONG SOUTHERLY BOUNDARY OF THE SUNDANCE SUBDIVISION UNIT 2 TO THE NORTHEAST CORNER OF SAID TRACT, BEING A 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
THENCE, N 14° 53' 31" W, A DISTANCE OF 1017.19 FEET DISTANCE TO THE SOUTHEAST CORNER OF SAID TRACT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
THENCE; N 68° 43' 02" W, A DISTANCE OF 97.76 FEET DISTANCE ALONG SAID RIGHT OF WAY SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
THENCE, S 89° 48' 54" W, A DISTANCE OF 130.19 DISTANCE ALONG SAID RIGHT OF WAY TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911"; BEING THE SOUTHWEST CORNER OF SAID TRACT AND BEING THE TRUE POINT OF BEGINNING.

PARCEL 2:

A CERTAIN TRACT OF LAND SITUATED WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, OF THE N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE QUITCLAIM DEED FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 28, 1994, IN BOOK 94-27, PAGE 6350, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911" AND BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING, WHENCE FOR A TIE TO THE ACS CONTROL STATION "7-K9", BEARS S 64° 57' 12" W, A DISTANCE OF 1244.30 FEET DISTANCE;
THENCE, N 89° 48' 54" W, A DISTANCE OF 211.54 FEET ALONG SAID RIGHT OF WAY TO THE SOUTHWEST CORNER OF SAID TRACT BEING A FOUND 5/8" REBAR SET ON CONCRETE "DISTURBED",
THENCE, N 15° 19' 45" W, A DISTANCE OF 1035.88 FEET TO THE NORTHWEST CORNER OF SAID TRACT, ALSO BEING POINT ON THE SOUTHERLY BOUNDARY OF SUNDANCE SUBDIVISION, UNIT 2, FOUND A ALUMINUM CAP,
THENCE, S 83° 32' 41" E, A DISTANCE OF 219.89 FEET ALONG SAID RIGHT SUBDIVISION TO THE NORTHEAST CORNER OF SAID TRACT, BEING A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911";
THENCE, S 15° 19' 45" E, A DISTANCE OF 1009.53 FEET DISTANCE TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "8911", BEING THE SOUTHEAST CORNER OF SAID TRACT AND THE NORTHERLY RIGHT OF WAY LINE OF VOLCANO ROAD NORTHWEST, BEING THE TRUE PLACE AND POINT OF BEGINNING.

PROJECT NUMBER: 2020-0004757

APPLICATION NUMBER: SI-2021-00307

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES () NO IF YES, THEN A SET OF APROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER/HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

*ENVIRONMENTAL HEALTH, IF NECESSARY

RV STORAGE - ALBUQUERQUE
SITE PLAN

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, UNIT 1500
DENVER COLORADO 80327
CONTACT: DAN SKEEHAN, P.E
LICENSE: NM 21773
PHONE: 303.228.2318
DAN.SKEEHANE@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT

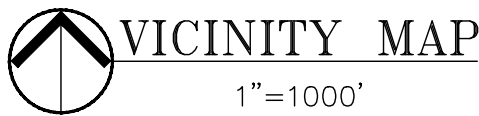
KIMLEY-HORN AND ASSOCIATES, INC.
4582 S ULSTER STREET, SUITE 1500
CONTACT: CHRISTOPHER HEPLER, P.L.A.
LICENSE: AZ 50732
PHONE: 303.228.2315
CHRISTOPHER.HEPLER@KIMLEY-HORN.COM

DEVELOPER

MACRITCHIE, INC.
142 HAWLEY ST., SUITE #5
GRAYSLAKE, IL 60030
PHONE: (403) 973-4882
CONTACT: BEN LOKHORST
BLOKHORST@MACRITCHIE.BIZ

LAND SURVEYOR

PRECISION SURVEYS, INC.
9200 SAN MATEO BOULEVARD, NE
ALBUQUERQUE, NM 871113
PHONE: 520.856.5700
LICENSED SURVEYOR:
LARRY W. MEDRANO R.L.S. #11993



LEGEND

—————	PROPERTY LINE
-----	EXISTING R.O.W. LINE
-----	EASEMENT/SETBACK (AS NOTED)
———X———	PROPOSED FENCE
———X.XX%———	PROPOSED SLOPE
———(X.XX%)———	EXISTING SLOPE
———W———	PROPOSED WATER LINE
———F———	PROPOSED FIRE SERVICE LINE
———SS——SS——SS——	PROPOSED SANITARY SEWER LINE
———E———	PROPOSED ELECTRICAL LINE
———G-BS———	EXISTING GAS LINE
———OHE———OHE———	EXISTING OVERHEAD POWER
———W———	EXISTING WATER LINE
———S———	EXISTING SANITARY SEWER LINE
⚡	EXISTING LIGHT POLE
⚡	PROPOSED LIGHT POLE
⚡	EXISTING SIGN
⚡	PROPOSED SIGN
⚡	EXISTING SS MANHOLE
⚡	PROPOSED SS MANHOLE
⚡	PROPOSED BEND
⚡	PROPOSED SANITARY CLEANOUT
⚡	PROPOSED FIRE HYDRANT
⚡	PROPOSED WATER METER
⚡	PROPOSED DETENTION POND OUTLET STRUCTURE
⚡	PROPOSED FLARED END SECTION
⚡	PROPOSED LANDSCAPE
⚡	PROPOSED PARKING BAYS
⚡	PROPOSED DRIVE AISLE
⚡	SIGHT TRIANGLES
⚡	PROPOSED GATE
⚡	PROPOSED MONUMENT SIGN

SITE DATA

SITE ADDRESS:	VOLCANO ROAD N.W. AND CENTRAL AVENUE N.W.
SITE AREA:	9.59 AC (417,740.4 SF)
NUMBER OF LOTS:	2
EXISTING USE:	VACANT
PROPOSED USE:	COVERED RV PARKING OF OPERABLE VEHICLES
PARCEL #:	141-21-0270
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
ZONING:	NON-RESIDENTIAL BUSINESS PARK (NR-BP)
OVERLAY ZONE:	AIRPORT ENVIRONS ZONE OVERLAY
BUILDING DATA:	1 STORY BUILDING FFE = 2921 ±650 SF
FAR:	LESS THAN 1%

VEHICULAR PARKING DATA

PARKING REQUIRED	
NO PARKING REQUIRED PER TABLE 5-5-1, PART 14-16-5 OF THE INTEGRATED DEVELOPMENT ORDINANCE FOR THE CITY OF ALBUQUERQUE, NEW MEXICO FOR THE USE OF OUTDOOR STORAGE	
PARKING PROVIDED	
STANDARD STALLS	2
MOTORCYCLE STALL	1
ACCESSIBLE STALLS	1
TOTAL	4
RV STORAGE PROVIDED	
11' X 45' STALLS	352
11' X 40' STALLS	10
11' X 30' STALLS	67
TOTAL	429

FLOODZONE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0328J, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 4, 2016 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOT FOR CONSTRUCTION

Kimley»Horn

©2021 KIMLEY-HORN AND ASSOCIATES, INC.
4652 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 8/25/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
COVER SHEET



PROJECT NO.
096648005

DRAWING NAME
096648005_CV.dwg

SHEET
1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

CITY OF ALBUQUERQUE GENERAL NOTES

1. THE CONSTRUCTION SPECIFICATIONS FOR THIS PROJECT INCLUDE ALL PLANS AND SPECIFICATIONS INCLUDED IN THE CONTRACT DOCUMENTS. THOSE CRITERIA ARE TO BE UTILIZED AND APPLIED IN CONJUNCTION WITH THE NEW MEXICO STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION) PUBLISHED BY THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) NEW MEXICO CHAPTER

2. THE CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO BERNALILLO COUNTY.

3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811 (STATEWIDE) FOR LOCATION OF EXISTING UTILITIES

4. THE CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY OF ALBUQUERQUE SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY OF ALBUQUERQUE SURVEYOR AND SHALL NOTIFY THE CITY OF ALBUQUERQUE SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS—PUBLIC WORKS CONSTRUCTION— 1986—UPDATE NO. 7

5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF THE EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE AND MAY NOT BE COMPLETE; THEREFORE, IT MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, AND RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR ALL PARTIES.

7. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINAL GRADE AND WILL BE MEASURED AND PAID PER EACH.

8. SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER, ARE CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.

9. CAUTION: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING SAFETY AND HEALTH. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926, SUBPART P—EXCAVATIONS.

10. WHEN ABUTTING NEW PAVEMENT TO THE EXISTING INTERSECTING STREETS, THE EXISTING PAVEMENT SHALL BE SAW CUT PER BERNALILLO COUNTY STANDARD DRAWING 2465 TO A STRAIGHT LINE AT RIGHT ANGLES, AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO PAVING; THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848–1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS.

11. TRENCHING, ASPHALT CUTTING AND PATCHING SHALL CONFORM TO BERNALILLO COUNTY STANDARD DRAWING 2465. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS DIVISION (848–1502) TO REQUEST AN INSPECTOR TO VERIFY PAVEMENT THICKNESS PRIOR TO PATCHING.

12. WHEN APPLICABLE, CONTRACTOR SHALL SECURE TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY.

3. ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT BEYOND THAT DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS:

A. IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED.

B. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED

14. THE CONTRACTOR SHALL CONTACT BERNALILLO COUNTY TRAFFIC ENGINEERING (848–1504) BEFORE REMOVING AND/OR INSTALLING ANY TRAFFIC SIGNS OR PERMANENT STRIPING AND MARKINGS. ALL STRIPING AND PAVEMENT MARKINGS, INCLUDING LANE LINES, CROSSWALKS, LEGENDS, AND SYMBOLS, ARE TO BE CONSTRUCTED OF HOT THERMOPLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE LATEST EDITION. ANY PAVEMENT MARKINGS AND SIGNS REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT EXISTING LOCATIONS. SUCH WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OF THE PROJECT.

15. INSTALL BLUE REFLECTIVE RAISED PAVEMENT MARKERS IN THE CENTER OF ROADWAY TO DELINEATE ALL HYDRANT LOCATIONS.

16. THE CONTRACTOR SHALL SUBMIT FIELD TEST REPORTS TO BCPWD (ATTN. DR INSPECTOR) FOR REVIEW.SAMPLING AND TESTING SCHEDULE SHALL COMPLY WITH PLAN SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO RECORD ANY CHANGES ON THE PLANS AND SUBMIT DETAILED AS-CONSTRUCTED CONSTRUCTION PROJECT PLANS (AS-BUILTS) TO THE DESIGN AND/OR PROJECT ENGINEER.

17. BARRICADING AND CONSTRUCTION PERMITS MUST BE OBTAINED FROM BCPWD (848–1502) PRIOR TO BEGINNING OF ANY CONSTRUCTION EFFORTS.

18. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION

19. THE CONTRACTOR SHALL RESTORE ALL ACCESS ROADS TO THE PRE-CONSTRUCTION CONDITION. ANY DAMAGE TO ROADWAY AND/OR UNDERGROUND UTILITIES SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE.

20. ALL ROADWAY WORK DETAILED IN THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE NMDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

21. WHEN APPLICABLE, THE CONTRACTOR SHALL SECURE A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE AND AN EXCAVATION/CONSTRUCTION PERMIT FROM BERNALILLO COUNTY. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY RIGHT-OF-WAY

22. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE NATIONAL POLLUTANT ELIMINATION DISCHARGE SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDESPERMIT DURING CONSTRUCTION, SUBMISSION OF A COMPLETED NOI APPLICATION, AND SUBMISSION OF A COMPLETED NOT. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE SWPPP REVIEWED AND APPROVED BY THE BERNALILLO COUNTY PUBLIC WORKS DIVISION, AT NO ADDITIONAL COST TO BERNALILLO COUNTY, PRIOR TO IMPLEMENTATION OF THE SWPPP.

23. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING BUT NOT LIMITED TO THE HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.

24. THE CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY. THIS GRAFFITI REMOVAL SHALL BE CONSIDERED INCIDENTAL; THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

Kimley»Horn

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4652 South Uister Street, Suite 1500
Denver, Colorado 80237 (303) 228-7300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 8/25/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
GENERAL NOTES



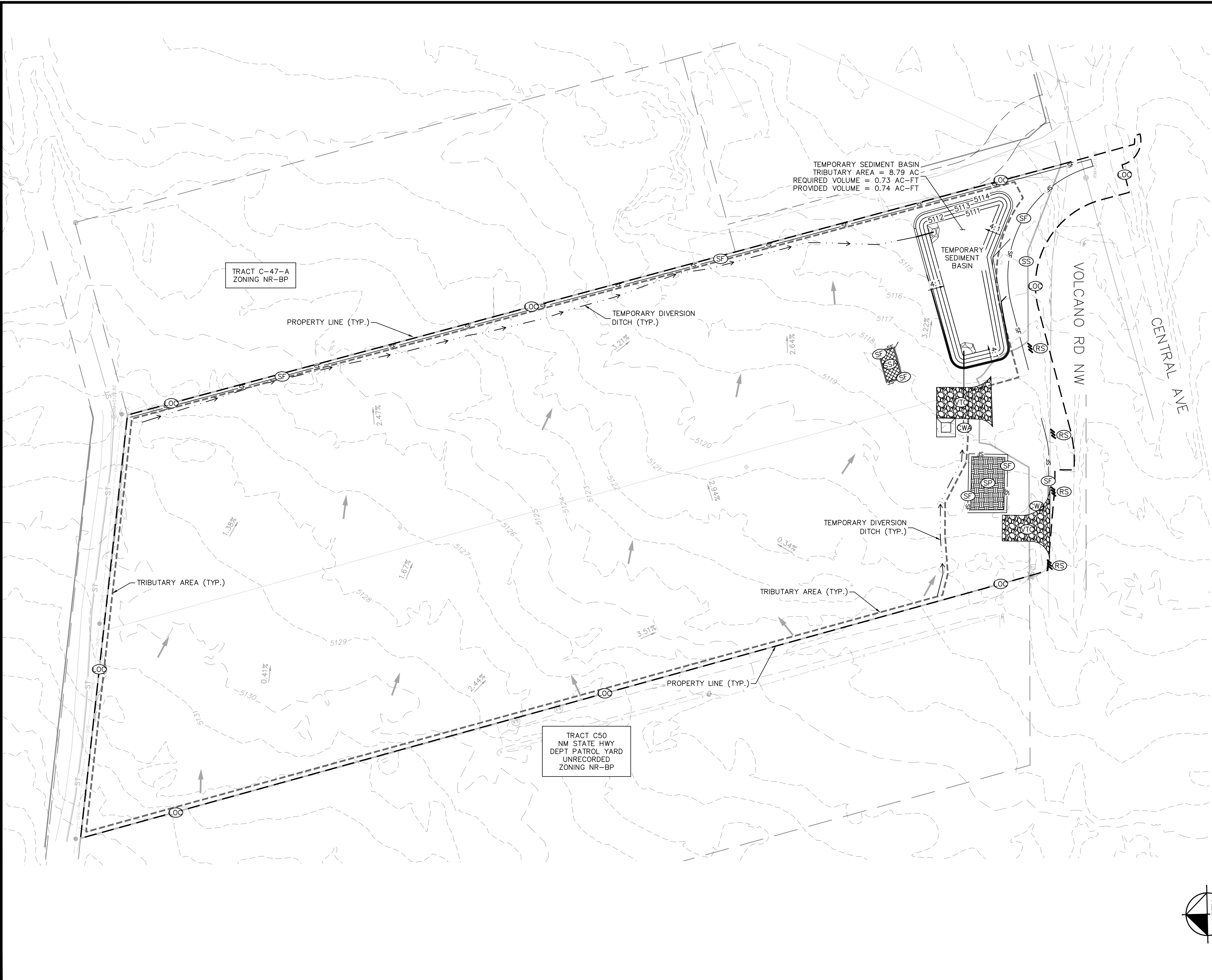
PROJECT NO.
096648005

DRAWING NAME
096648005_CV.dwg

NOT FOR CONSTRUCTION

SHEET
2

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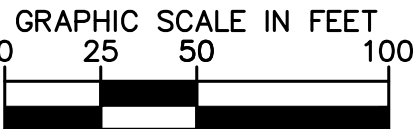
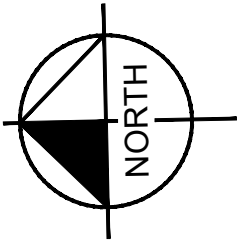


LEGEND

- PROPERTY LINE
- 50 PROPOSED MAJOR CONTOURS
- 49 PROPOSED MINOR CONTOURS
- 50- EXISTING MAJOR CONTOURS
- 49- EXISTING MINOR CONTOURS
- PROPOSED RISER PIPE
- PROPOSED DIVERSION DITCH
- PROPOSED TRIBUTARY AREA
- PROPOSED STORM RIPRAP
- DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LIMITS OF CONSTRUCTION
- SILT FENCE
- STOCKPILE
- CONCRETE WASHOUT
- VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- STREET SWEEPING
- STABILIZED STAGING AREA
- ROCK SOCKS

GENERAL NOTES

- TOTAL AREA OF DISTURBANCE = 9.89 AC



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Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 2/25/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C48 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
INITIAL EROSION AND SEDIMENT CONTROL PLAN

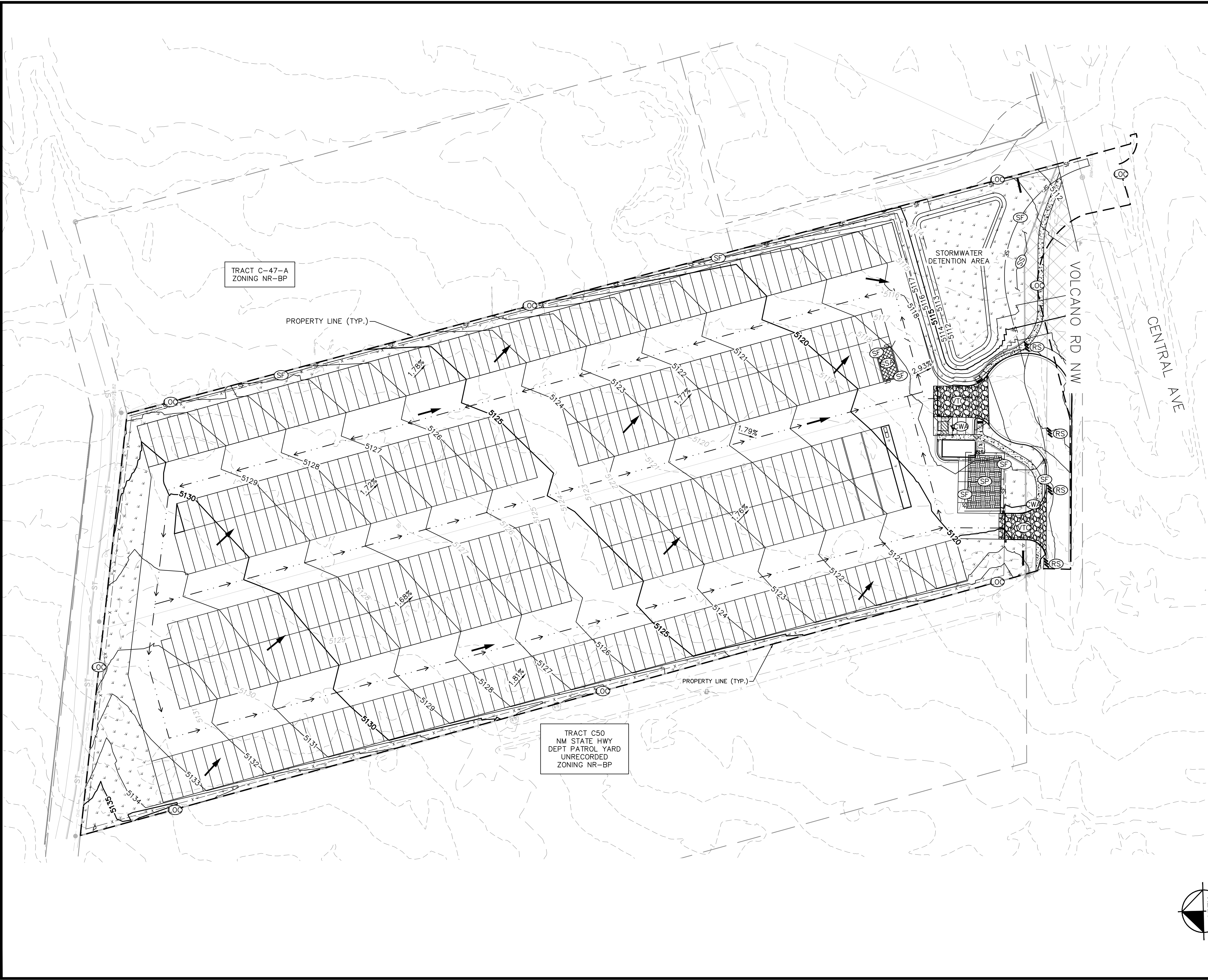


PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
3

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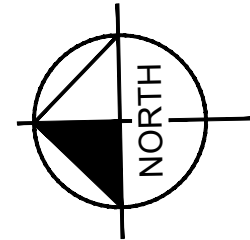


LEGEND

- PROPERTY LINE
- 50 PROPOSED MAJOR CONTOURS
- 49 PROPOSED MINOR CONTOURS
- 50 EXISTING MAJOR CONTOURS
- 49 EXISTING MINOR CONTOURS
- X.XX% DRAINAGE SLOPE DIRECTION
- DRAINAGE FLOW DIRECTION
- LOC LIMITS OF CONSTRUCTION
- SF SILT FENCE
- SP STOCKPILE
- CWA CONCRETE WASHOUT
- VTC VEHICLE TRACKING CONTROL/STABILIZED CONSTRUCTION ENTRANCE/EXIT
- SS STREET SWEEPING
- SSA STABILIZED STAGING AREA
- RS ROCK SOCKS

GENERAL NOTES

- TOTAL AREA OF DISTURBANCE = 9.89 AC



GRAPHIC SCALE IN FEET
0 25 50 100

Kimley»Horn

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Denver, Colorado 80237 (303) 228-2300

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NORTH, RANGE 2, EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO, TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
FINAL EROSION AND SEDIMENT CONTROL PLAN



PROJECT NO.
096648005
DRAWING NAME
EC PLAN

SHEET
3

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Diversion Channel Dike and Swale (continued)

MAINTENANCE REQUIREMENTS

Earth Dike (Berm)

Dikes must be inspected on a weekly basis and after each significant (>0.5 inch) rainfall to determine if silt is building up behind the dike, or if erosion is occurring on the face of the dike. Silt shall be removed in a timely manner. If erosion is occurring on the face of the dike, the slopes of the face shall either be stabilized through mulch or seeding, or the slopes of the face shall be reduced.

Diversion Channel (Swale)

Inspection must be made weekly and after each significant (>0.5 inch) rainfall to locate and repair any damage to the channel or to clear debris or other obstructions so as not to diminish flow capacity. Damage from storms or normal construction activities, such as tire ruts or disturbance of swale stabilization, shall be repaired as soon as practical.

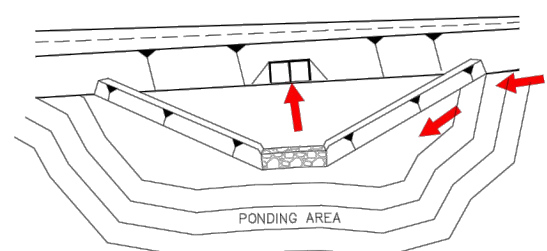
NOTES

- Berms shall have a minimum height of 18 inches, side slopes of 2:1 or flatter, and a minimum base width of 2 feet.
- The minimum freeboard shall be 6 inches.
- Berms and diversions should be constructed of compacted soil or coarse aggregate.
- All berms shall have an uninterrupted positive grade to a stabilized outlet.
- Diversion channels shall be excavated or shaped to line, grade, and cross section as indicated in the plans and as required to meet the criteria specified.
- Berms and diversion channels should be stabilized within 14 days of their construction.
- Periodically, and after each rain event, berms and dikes should be inspected, and accumulated sediments against berms should be removed.

01C11R.DOC

A3-4

Sediment Basin



DESCRIPTION

A sediment basin is a pond area with a controlled outlet in which suspended sediment is allowed to settle. Provides treatment plus controlled outflow, minimizing flood problems down gradient.

PRIMARY USE

Sediment basins should be used where there is adequate open space to direct most of the site drainage into the basin. For sites with disturbed areas of more than 10 acres that are part or the same drainage area, sediment basins are required as either temporary or permanent controls, if there are no site limitations.

APPLICATIONS

A sediment basin is a treatment device, highly effective for removing sediment and other pollutants for the design storm event. Sediment basins shall be designed for two-year storm runoff. Maximum embankment height shall be 9 feet with a minimum top width of 8 feet. The side slopes shall be 2:1 or flatter.

LIMITATIONS

Sediment basins can be rather large, depending on site conditions, requiring the use of expensive development area and comprehensive planning for construction phasing prior to implementation.

Storm events that exceed the design storm event can cause damage to the spillway structure of the basin and may impact downstream concerns.

MAINTENANCE REQUIREMENTS

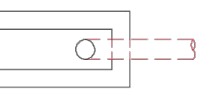
Sediment shall be removed and the basin shall be re-graded to its original dimensions when the capacity of the impoundment has been reduced to 20% of its original storage capacity. The removed sediment shall be stockpiled or redistributed in areas that are protected from erosion.

The basin outlet structure and emergency spillway (if present) should be checked frequently and after each major rain event to inspect for damage and to insure that obstructions are not diminishing the effectiveness of the structures.

- Applications**
- Perimeter Control
 - Slope Protection
 - ✓ Sediment Trapping
 - Channel Protection
 - Temporary Stabilization
 - Permanent Stabilization
 - Waste Management
 - Housekeeping Practices

- Targeted Constituents**
- ✓ Sediment
 - Nutrients
 - Toxic Materials
 - Oil and Grease
 - ✓ Floatable Materials
 - Construction Wastes

- Impact**
- ✓ Significant
 - ✓ Medium
 - Low
 - Unknown or Questionable

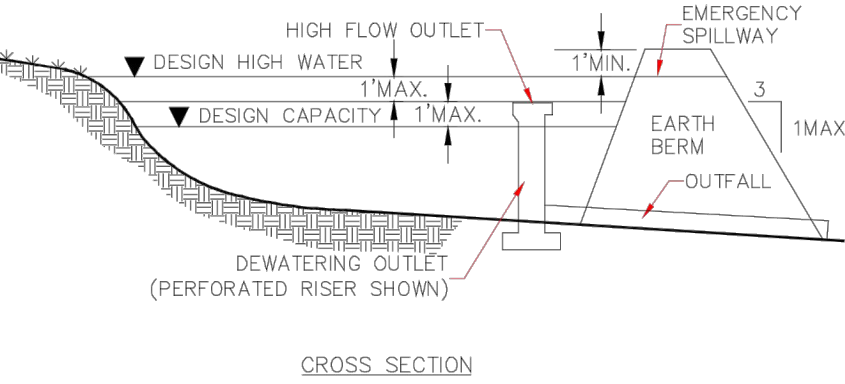
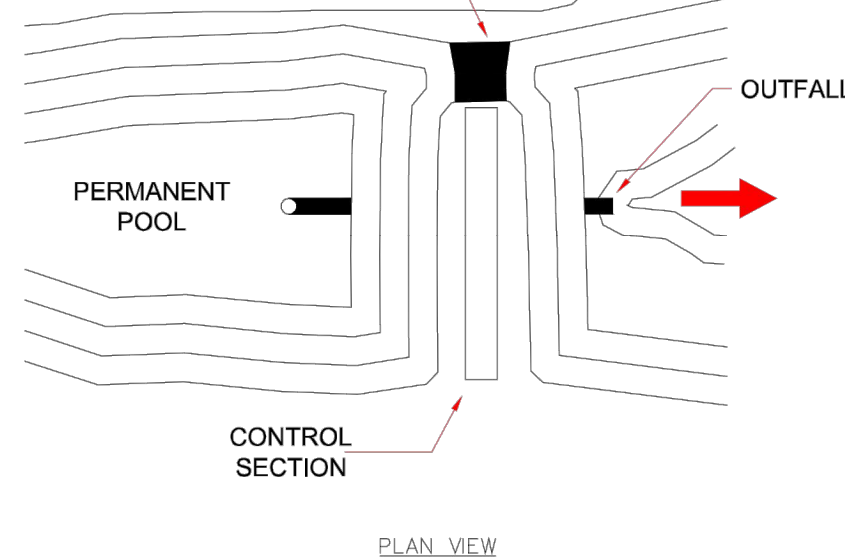


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A4-23

Sediment Basin (continued)

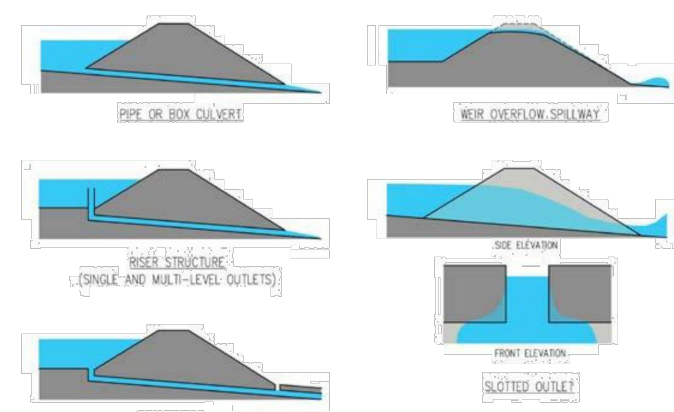
EMERGENCY SPILLWAY SHOULD NOT BE CONSTRUCTED OVER FILL MATERIAL.



01C11R.DOC

A4-24

Outlet Structure



DESCRIPTION

A flow restrictive device placed at the discharge point of a storm water detention basin or check structure. Outlet structures can provide mitigation for flowrates, velocities, floatables, and can provide sedimentation. Outlet Structures include a wide range of designs, including orifice plates, baffle-boxes, mechanical screens, ported risers, trash racks, and weir configurations.

PRIMARY USE

Primarily utilized to be utilized in conjunction with detention basins. May be utilized as temporary BMP for construction phase activities. Out Structures provide mechanism for metering flowrates and reducing velocities to allow particles and associated pollutants to settle.

APPLICATIONS

If constructed with initial grading operations, an outlet structure can provide a site-wide BMP for sediment control. In post-construction applications, Outlet Structures can provide mitigation of a wide range of pollutants. Outlet Structures are also utilized for site storm water flowrate mitigation, and are typically designed to provide both storm water quality as well as flowrate mitigation.

LIMITATIONS

Construction phase Outlet Structure may require regular maintenance to remove accumulated sediment. Outlet Structure requires an impoundment mechanism to convey flows into structure.

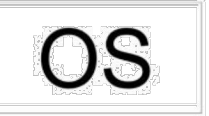
MAINTENANCE REQUIREMENTS

Inspections should be made on a monthly basis, especially after large storm events. If the Outlet Structure becomes inundated, debris and sediment removal are immediately required.

- Applications**
- Perimeter Control
 - Slope Protection
 - ✓ Sediment Trapping
 - ✓ Channel Protection
 - ✓ Temporary Stabilization
 - ✓ Permanent Stabilization
 - Waste Management
 - Housekeeping Practices

- Targeted Constituents**
- ✓ Sediment
 - ✓ Nutrients
 - Toxic Materials
 - Oil and Grease
 - ✓ Floatable Materials
 - Construction Wastes

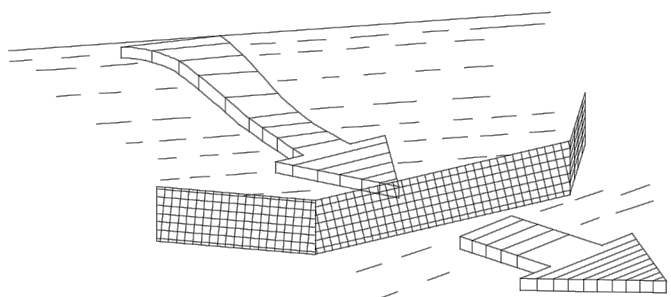
- Impact**
- ✓ Significant
 - ✓ Medium
 - Low Unknown or Questionable



01C11R.DOC

A3-25

Silt Fence



DESCRIPTION

A silt fence consists of geotextile fabric supported by backing stretched between posts, with the lower edge securely embedded in soil downstream of disturbed areas. Intercepts runoff in the form of sheet flow and provides filtration, sedimentation, and velocity reduction.

PRIMARY USE

Silt fences are used as perimeter control downstream of disturbed areas, and for non-concentrated sheet-flow conditions.

APPLICATIONS

Silt fences provide an economical way to mitigate overflow, non-concentrated flows, and as a perimeter control device. Best with coarse to silty soil types and to control wind erosion on sandy soils.

LIMITATIONS

Minor ponding will likely occur at the upstream side of the silt fence, resulting in minor localized flooding.

Fences that are constructed in swales or low areas subject to concentrated flow may be overtopped, resulting in failure of the filter fence. Silt fences subject to areas of concentrated flow (waterways with flows >1 cfs) are not acceptable.

Silt fence can fail structurally under heavy storm flows, creating maintenance problems and reducing the effectiveness of the system.

Inspections should be made on a weekly basis, especially after large storm events. If the fabric becomes clogged, it should be cleaned or, if necessary, replaced.

Sediment should be removed when it reaches approximately one-half the height of the fence.

- Applications**
- ✓ Perimeter Control
 - ✓ Slope Protection
 - ✓ Sediment Trapping
 - Channel Protection
 - Temporary Stabilization
 - Permanent Stabilization
 - Waste Management
 - Housekeeping Practices

- Targeted Constituents**
- ✓ Sediment
 - Nutrients
 - Toxic Materials
 - Oil and Grease
 - ✓ Floatable Materials
 - Construction Wastes

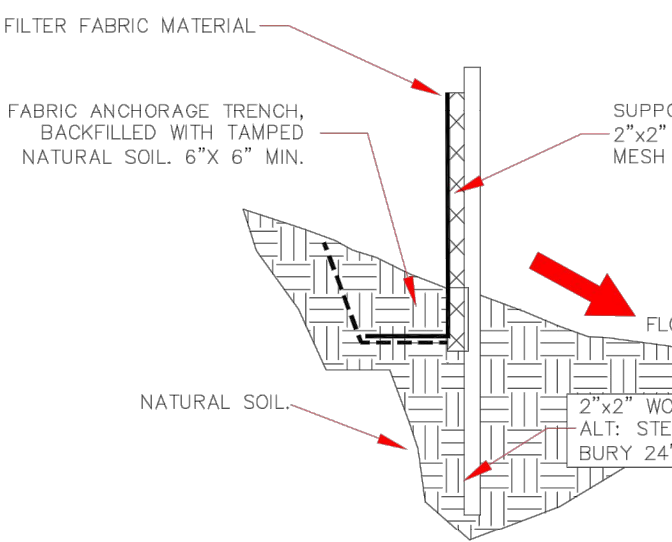
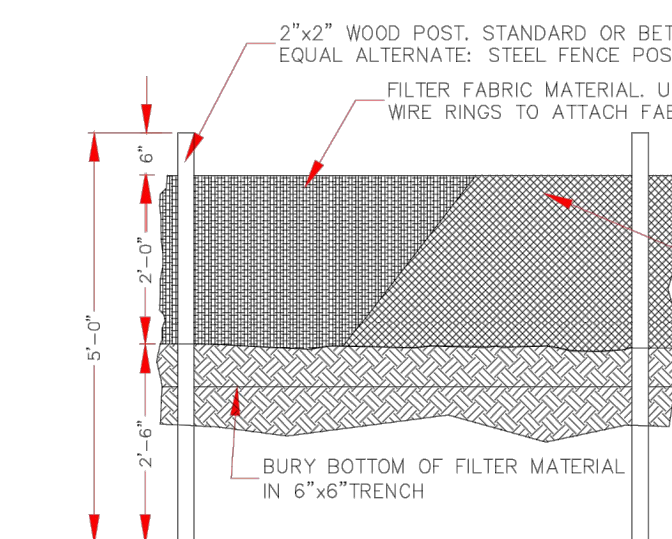
- Impact**
- ✓ Significant
 - ✓ Medium
 - Low
 - Unknown or Questionable



01C11R.DOC

A4-5

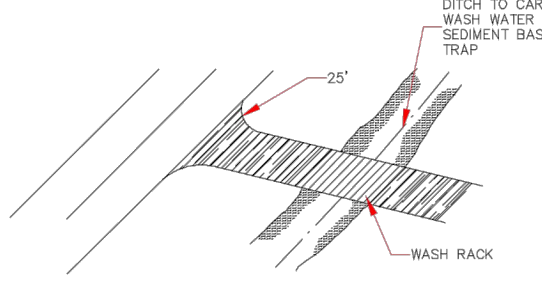
Silt Fence (continued)



01C11R.DOC

A4-6

Stabilized Construction Entrance/Exit



DESCRIPTION

A stabilized construction entrance consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter cloth, which is used to facilitate the washdown and removal of sediment and other debris from construction equipment prior to exiting the site. During the construction phase of a project, regular street sweeping should be performed to remove debris carried from the site.

PRIMARY USE

Stabilized construction entrances are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point.

APPLICATIONS

As a part to the erosion-control plan required for sites larger than five acres, and recommended for all construction sites.

LIMITATIONS

Selection of the construction entrance location is critical. To be effective, it must be used exclusively.

Stabilized entrances are rather expensive, considering that they must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

MAINTENANCE REQUIREMENTS

Inspections should be made on a regular basis and after large storm events in order to ascertain whether or not sediment and pollution are being effectively detained on site.

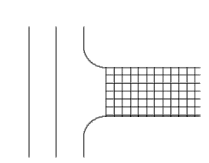
When sediment has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.

Periodic re-grading and top dressing with additional stone must be done to keep the efficiency of the entrance from diminishing.

- Applications**
- Perimeter Control
 - Slope Protection
 - Sediment Trapping
 - Channel Protection
 - ✓ Temporary Stabilization
 - Permanent Stabilization
 - Waste Management
 - Housekeeping Practices

- Targeted Constituents**
- ✓ Sediment
 - Nutrients
 - Toxic Materials
 - Oil and Grease
 - Floatable Materials
 - Construction Wastes

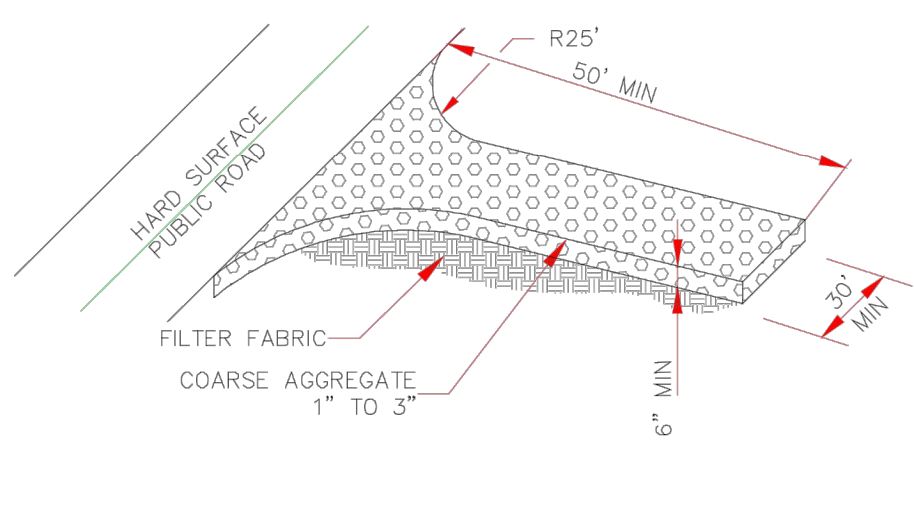
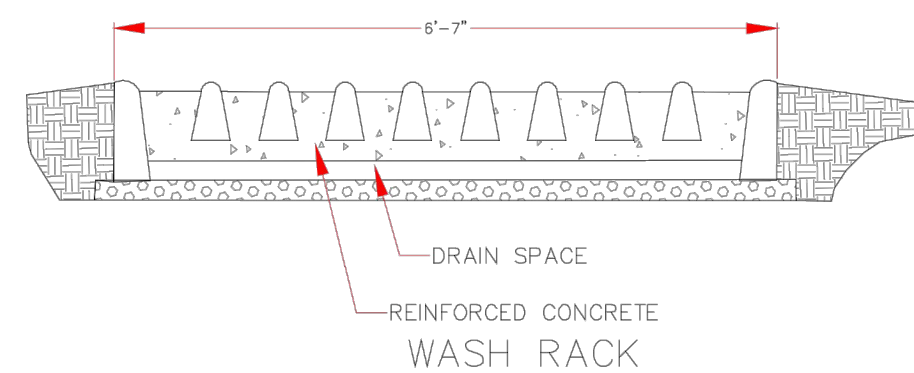
- Impact**
- ✓ Significant
 - ✓ Medium
 - Low
 - Unknown or Questionable



01C11R.DOC

A5-19

Stabilized Construction Entrance/Exit (continued)



01C11R.DOC

A5-20

Concrete Waste Management

DESCRIPTION
Concrete waste management prevents or reduces the discharge of pollutants to storm water by conducting washout offsite, performing onsite washout in a designated area, and training employees and subcontractors.

APPLICATIONS

The following low-cost measures will help reduce storm water pollution from concrete wastes:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement onsite.
- Perform washout of concrete trucks offsite or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped onsite except in designated areas.
- For onsite washout:
 - Locate washout area at least 50 feet from storm drains, open ditches, or water bodies. Prevent runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste.
 - Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed of properly.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water to a bermed or level area.
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stock pile, or dispose in the trash.
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS

Offsite washout of concrete wastes may not always be possible.

MAINTENANCE REQUIREMENTS

Inspect subcontractors to ensure that concrete wastes are being properly managed.

If using a temporary pit, dispose of hardened concrete on a regular basis.

- Applications**
- Perimeter Control
 - Slope Protection
 - Sediment Trapping
 - Channel Protection
 - Temporary Stabilization
 - Permanent Stabilization
 - ✓ Waste Management
 - ✓ Housekeeping Practices

- Targeted Constituents**
- Sediment
 - Nutrients
 - Toxic Materials
 - Oil and Grease
 - Floatable Materials
 - ✓ Construction Wastes

- Impact**
- Significant
 - ✓ Medium
 - Low
 - Unknown or Questionable

01C11R.DOC

A5-23

NOT FOR CONSTRUCTION

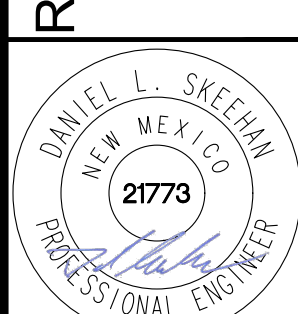
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4652 South Uteer Street, Suite 1500
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DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 2/26/21

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH, RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO. TRACTS C46 AND
C49, UNIT 4.

RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS



PROJECT NO.
096648005

DRAWING NAME
EC PLAN

SHEET
3

NO. REVISION BY DATE

Seeding – Temporary/Vegetation (continued)

All seeded areas should be covered with mulch to provide protection from the weather. Frequent inspections are necessary to check that conditions for growth are good. If the plants do not grow quickly or thick enough to prevent erosion, the area should be reseeded as soon as possible.

Temporary seed selection should take into account the season and location. Specific seed mixes can usually be found in the construction plans. The plans and specifications should reflect temporary seeding locations, quantities and pay items. For suggested seed types, see Appendix D, Guidance on Seed Selection and Seeding of Temporary Vegetation on Disturbed Areas.

Native grasses should not be used for temporary seeding. Irrigation or a temporary watering facility should be provided. Seeding should be selected in accordance with local Natural Resources Conservation Service (NRCS) rules.

Vegetative techniques can and should apply to every construction project, with few exceptions. Vegetation effectively reduces erosion in swales, stockpiles, berms, mild to medium slopes, and along roadways. Vegetative strips can provide some protection when used as a perimeter control for utility and site development construction.

Surface Preparation

- Interim or final grading must be completed prior to seeding, minimizing all steep slopes.
- Install all necessary erosion structures such as dikes, swales, diversions, etc., prior to seeding.
- Groove or furrow slopes steeper than 3:1 on the contour line before seeding.
- Provide 4-6 inches of topsoil over rock, gravel, or otherwise unsuitable soils.
- Seedbed should be well pulverized, loose, and uniform.

Plant Selection, Fertilization and Seeding

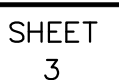
- Use only high quality, U.S. Department of Agriculture (USDA)-certified seed.
- Use an appropriate species or species mixture adapted to local climate, soil conditions, and season. Consult with the local NRCS office or local County Extension Service as necessary for selection of proper species and application techniques in the area. Seeding rate should be in accordance with recommendations by the NRCS or Engineering Extension Service.
- Fertilizer shall be applied according to the manufacturer's recommendation with proper spreader equipment. Typical application rate for 10-10-10 grade fertilizer is 700-1000 lb/acre. DO NOT OVER APPLY FERTILIZER.
- If hydro-seeding is used, do not mix seed and fertilizer more than 30 minutes before application.
- Evenly apply seed using cyclone seeder, seed drill, cultipacker, or hydros Seeder.
- Provide adequate water to aid in establishment of vegetation.
- Use appropriate mulching techniques where necessary.

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 South Ulster Street, Suite 1500
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A2-5

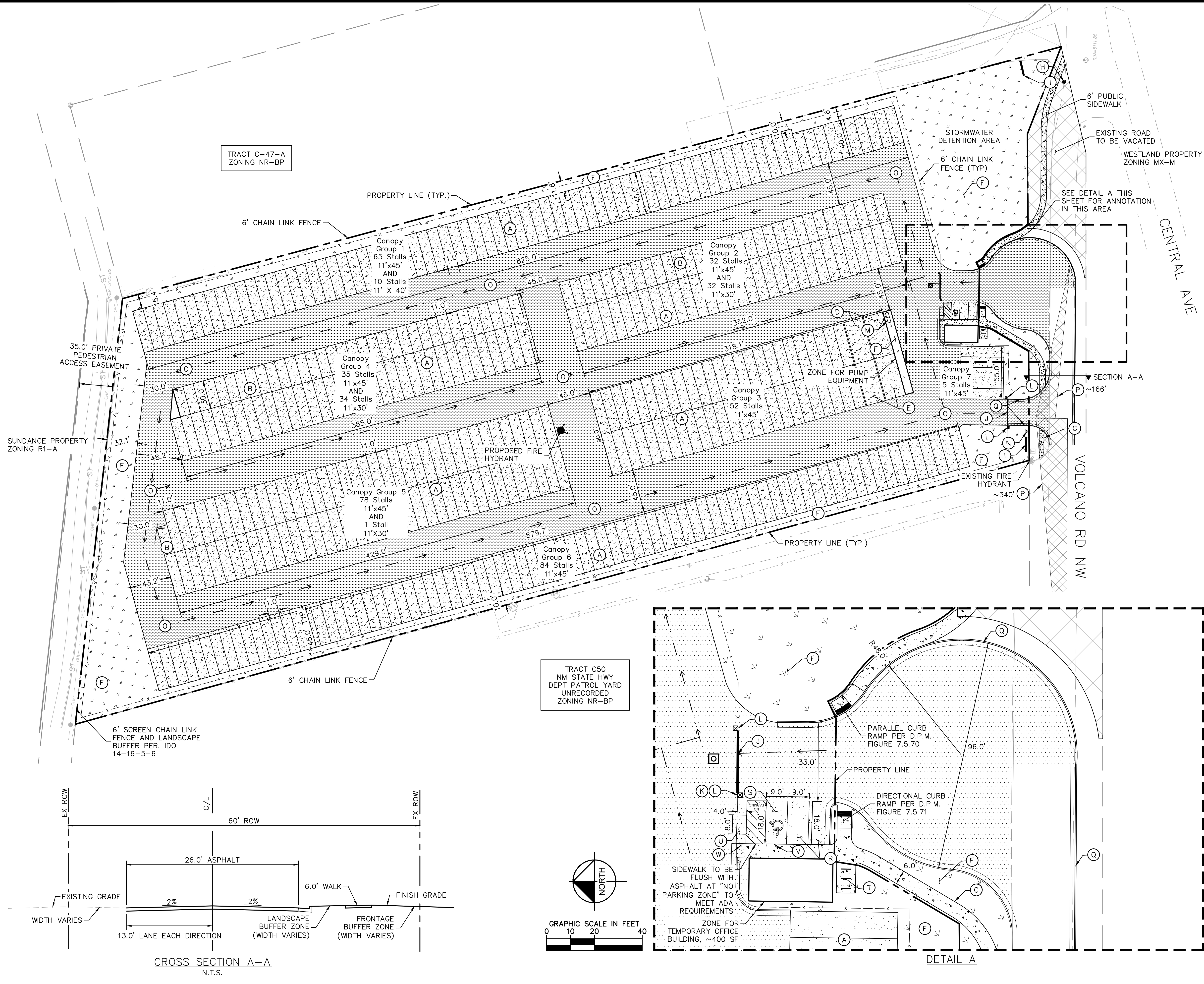
DESCRIPTION:
N 21, TOWNSHIP 10
RANGE 2 EAST, CITY
ALBUQUERQUE,
SILLO COUNTY, NEW
MEXICO, TRACTS C48 AND
C49, UNIT 4.

W STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
EROSION AND SEDIMENT CONTROL DETAILS



SHEET
3

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LEGEND

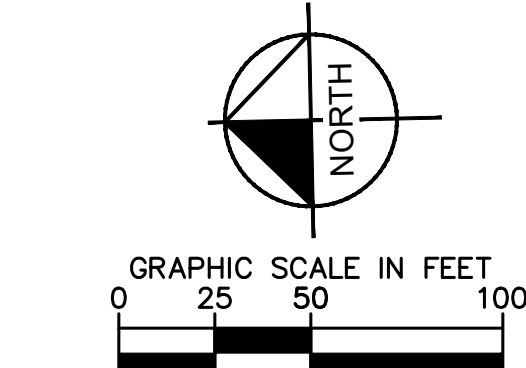
- PROPOSED SITE PROPERTY LINE
- SECTION LINE
- EASEMENT LINE
- SITE FENCE
- PROPOSED PRIVATE FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- CENTER LINE
- CURB AND GUTTER
- PROPOSED LANDSCAPE
- ASPHALT PARKING BAYS
- ASPHALT DRIVE AISLE
- SIGHT TRIANGLES
- PROPOSED GATE
- PROPOSED MONUMENT SIGN
- FIRE ROUTE

SITE KEYNOTES

- (A) RV CANOPY PARKING STALL (11' X 45') (TYP)
- (B) RV CANOPY PARKING STALL (11' X 30') (TYP)
- (C) PROPOSED 6.0' SIDEWALK
- (D) PROPOSED DUMP STATION (20' X 45') (TYP)
- (E) PROPOSED WASH STATION (20' X 45') (TYP)
- (F) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- (H) PROPOSED SANITARY SEWER MANHOLE
- (I) PROPOSED MONUMENT SIGN
- (J) 26' ELECTRIC SLIDING GATE
- (K) KNOX BOX
- (L) GATE CONTROL BOX
- (M) PROPOSED TRASH ENCLOSURE
- (N) PROPOSED STOP SIGN (36" X 36")
- (O) FIRE CIRCULATION
- (P) SIGHT TRIANGLE
- (Q) PROPOSED CURB & GUTTER PER PAG STD. DTL. 209
- (R) PROPOSED STANDARD 9' X 18' PARKING STALL (2)
- (S) PROPOSED ADA STALL (1)
- (T) PROPOSED BICYCLE PARKING (3)
- (U) PROPOSED MOTORCYCLE PARKING (1)
- (V) PROPOSED ACCESSIBLE PARKING SIGN
- (W) PROPOSED MOTORCYCLE PARKING SIGN

NOTES

- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ACTUAL PUBLIC ROADWAY IMPROVEMENTS FOR VOLCANO ROAD SHALL BE REVIEWED AND APPROVED THROUGH THE CITY WORK ORDER PROCESS. PLATTING ACTION SHALL BE ALSO REQUIRED TO INCLUDE ALL PUBLIC ROADWAY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING THE 6-FOOT PUBLIC SIDEWALK.



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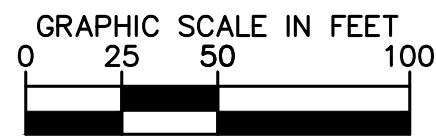
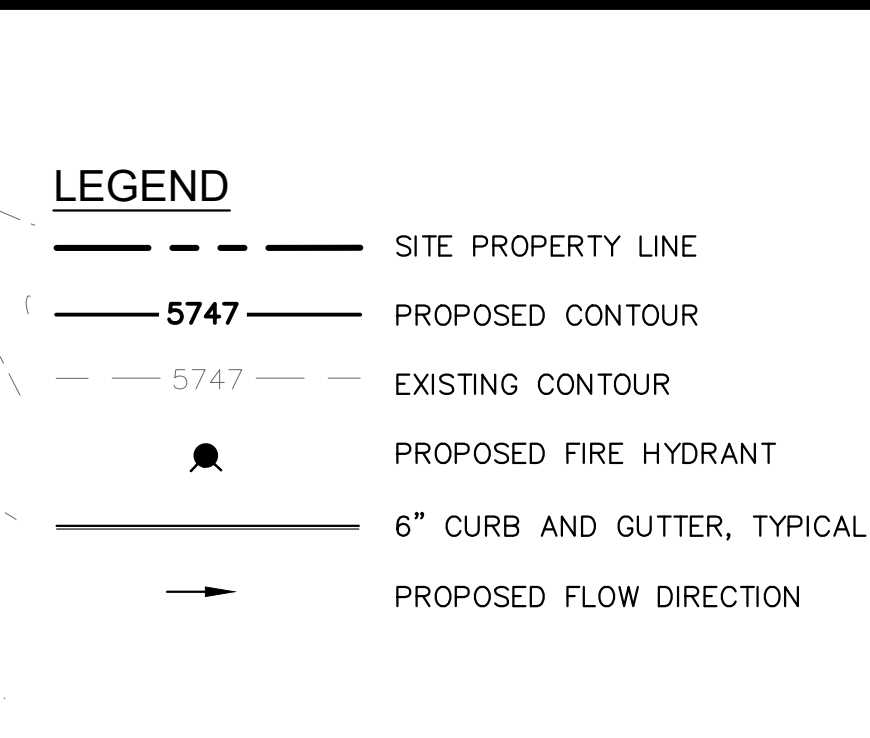
RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
SITE PLAN



PROJECT NO.
096648005
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7

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SHEET
8



SITE PROPERTY LINE
 PROPOSED WATER LINE
 PROPOSED SSWR LINE
 PROPOSED SANITARY SEWER MANHOLE

- (A) PROPOSED PUBLIC 8" PVC SANITARY SEWER SERVICE TO PER DEVELOPMENT PROCESS MANUAL OR AS APPROVED BY ABCWA
- (B) PROPOSED 8" PVC WATER MAIN
- (C) PROPOSED 8" FIRE MAIN
- (D) PROPOSED FIRE HYDRANT
- (E) PROPOSED SANITARY SEWER MANHOLE
- (F) PROPOSED RV DUMP STATION
- (G) PRIVATE DETENTION POND
- (H) PROPOSED 1" WATER METER
- (I) PROPOSED 1" WATER LINE
- (J) PROPOSED SANITARY WYE
- (K) PROPOSED SANITARY SEWER CLEANOUT

1. THESE PLANS ARE NOT FOR CONSTRUCTION. REFER TO THE FINAL APPROVED CONSTRUCTION PLANS.

A north arrow pointing upwards, labeled "NORTH". To the right of the north arrow is a graphic scale bar labeled "GRAPHIC SCALE IN FEET". The scale bar has markings for 0, 25, 50, and 100 feet. The bar is divided into alternating black and white segments: a black segment from 0 to 25, a white segment from 25 to 50, a black segment from 50 to 75, and a white segment from 75 to 100.

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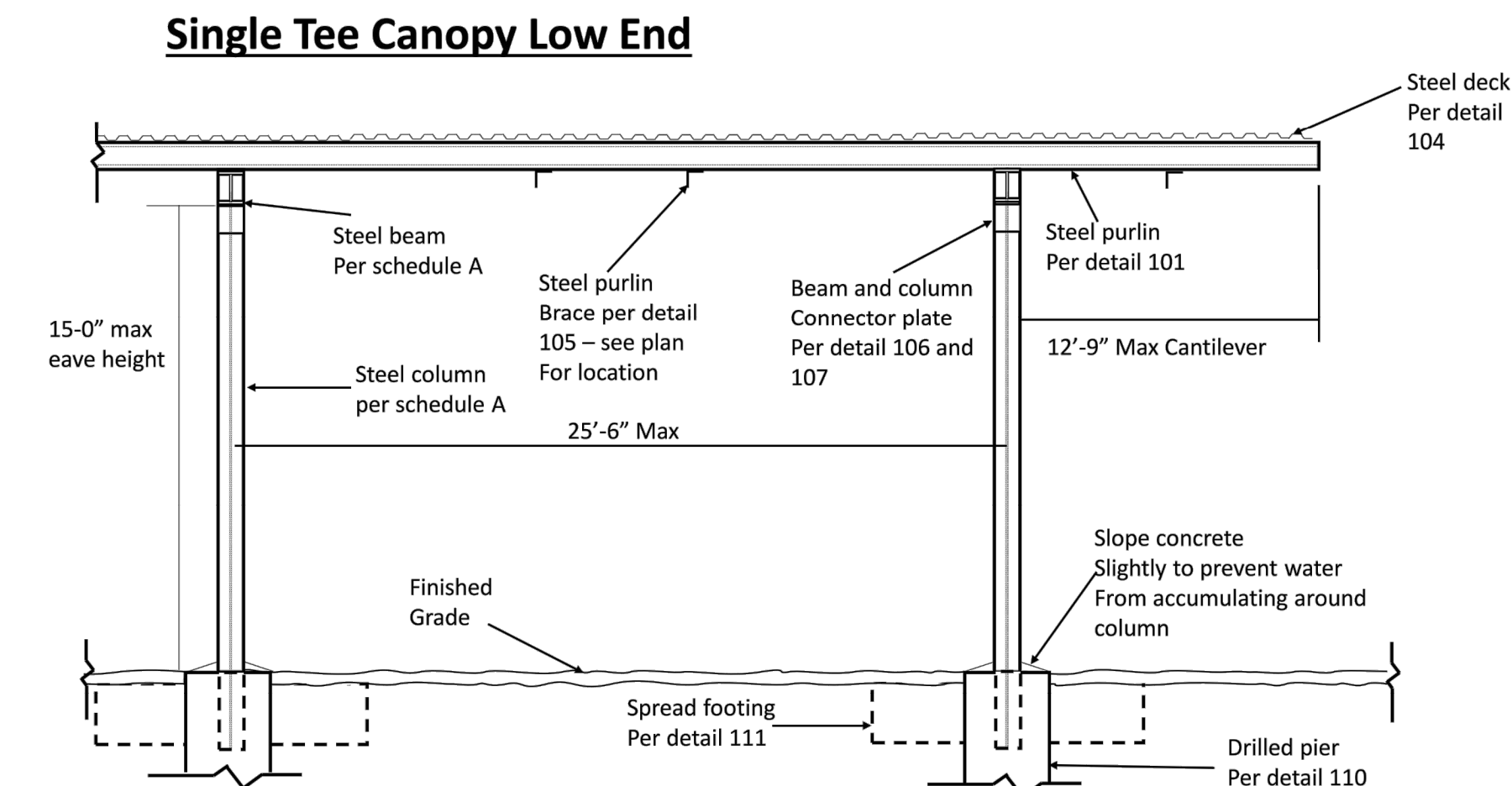
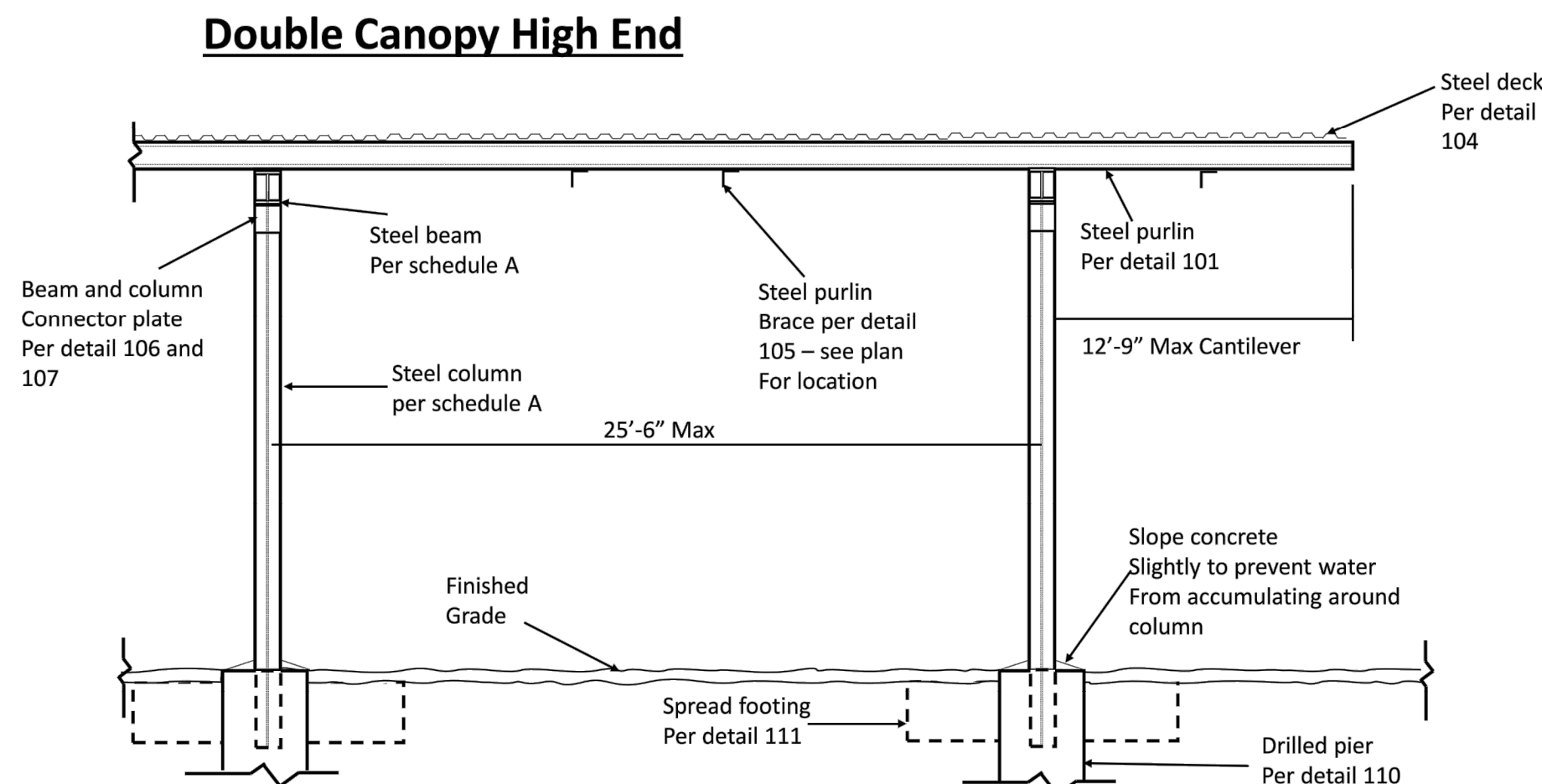
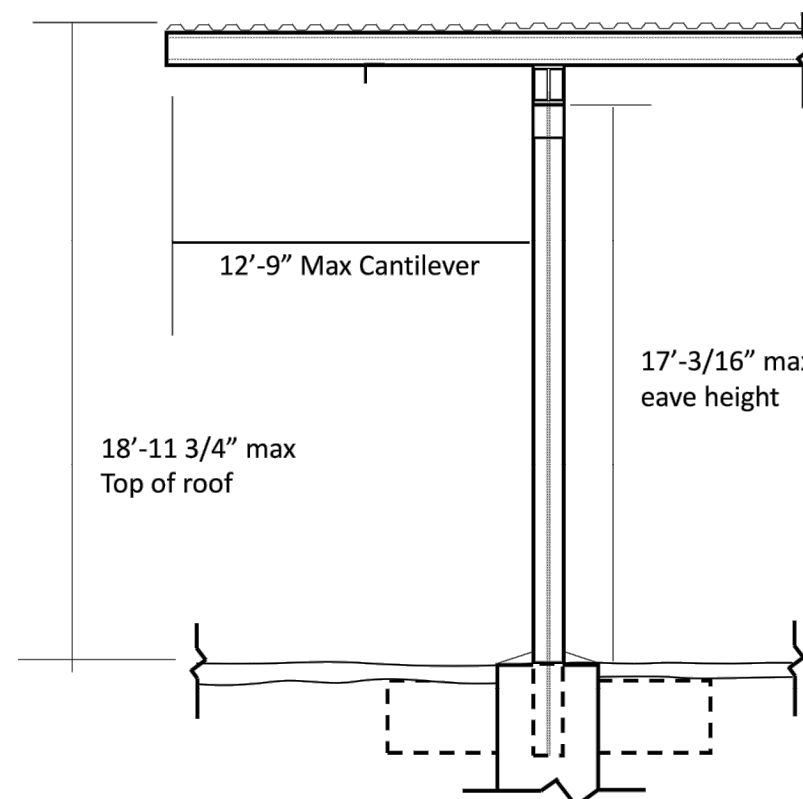
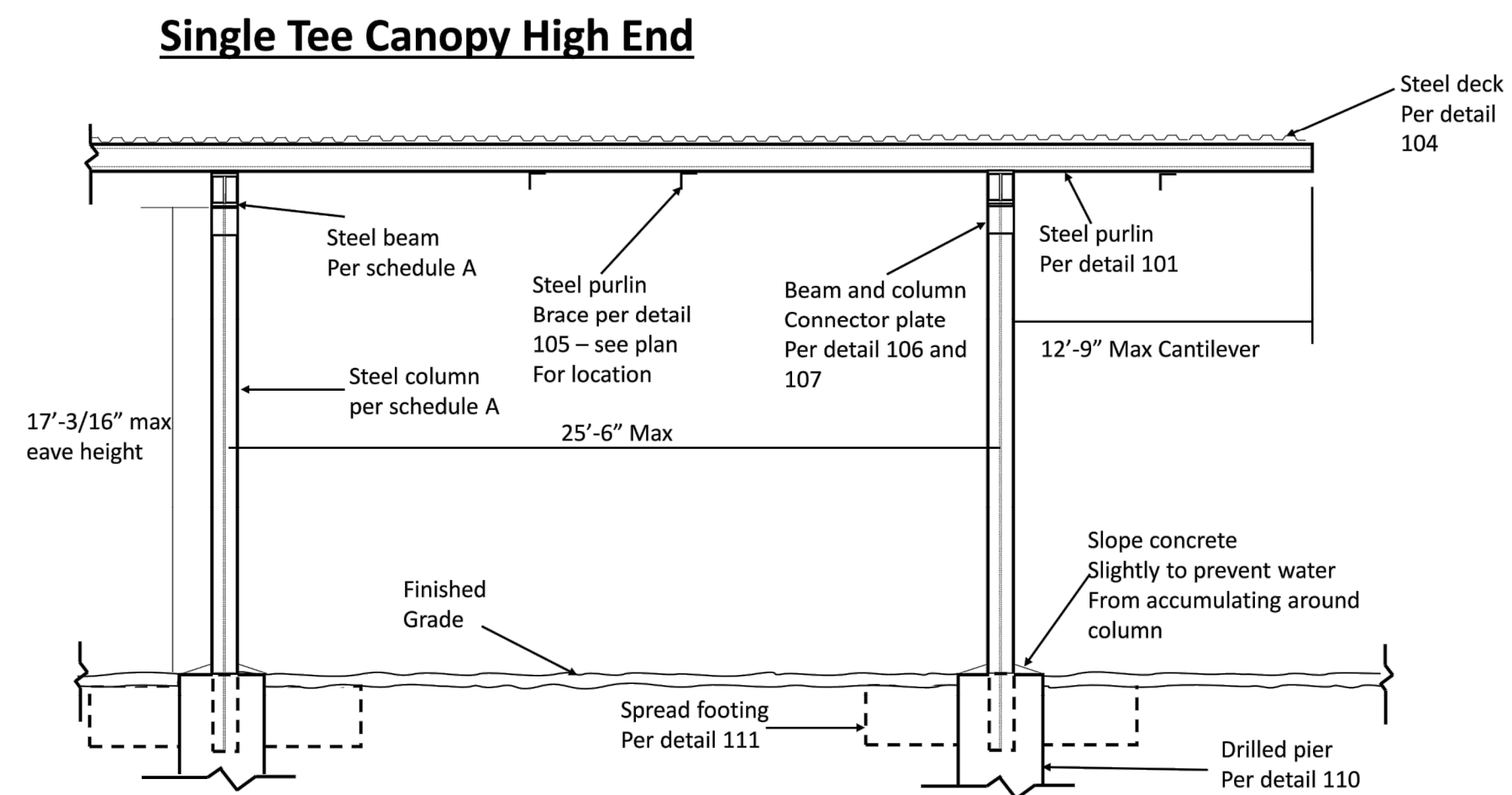
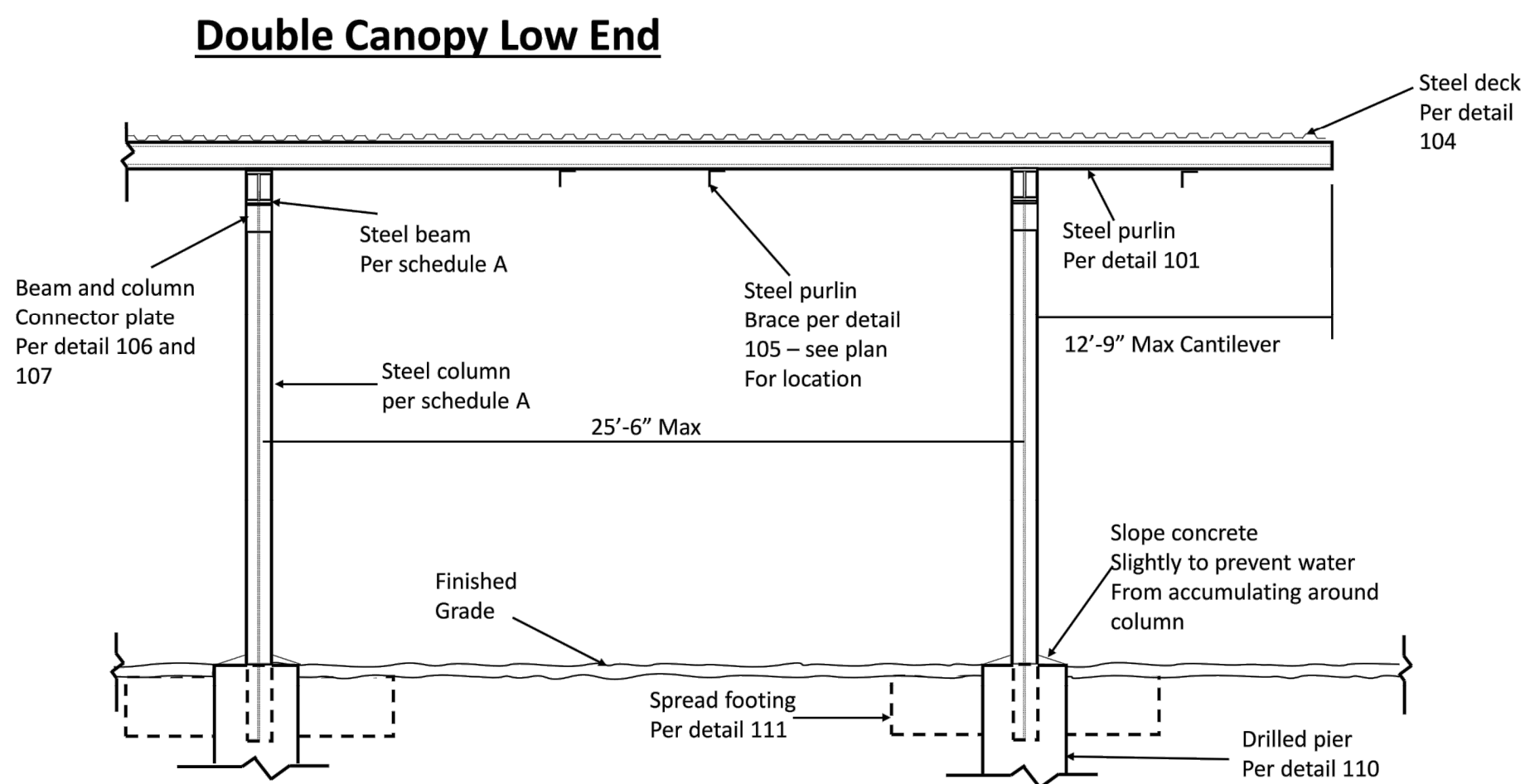
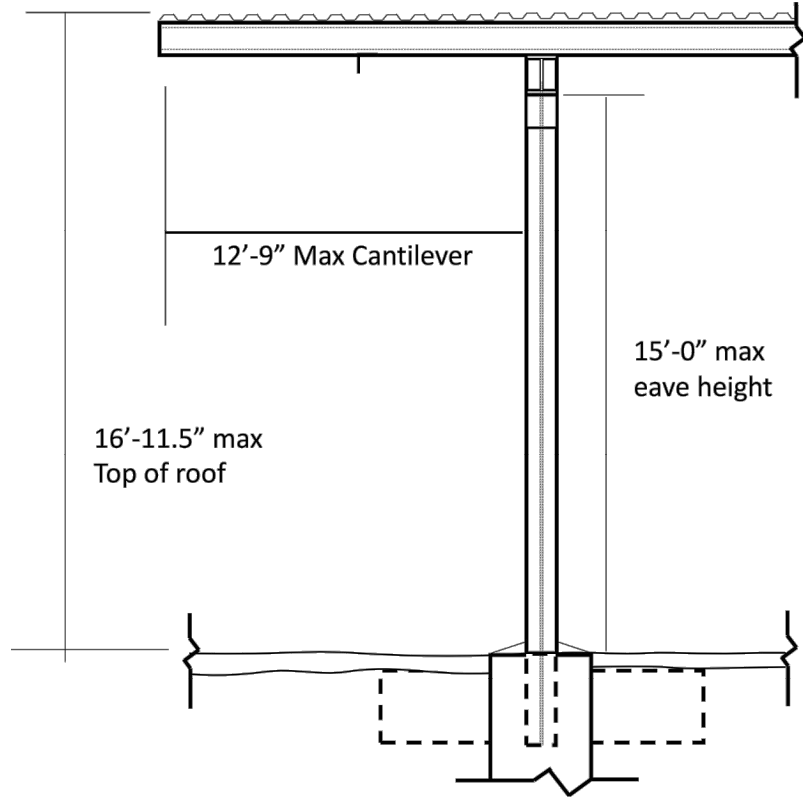
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9

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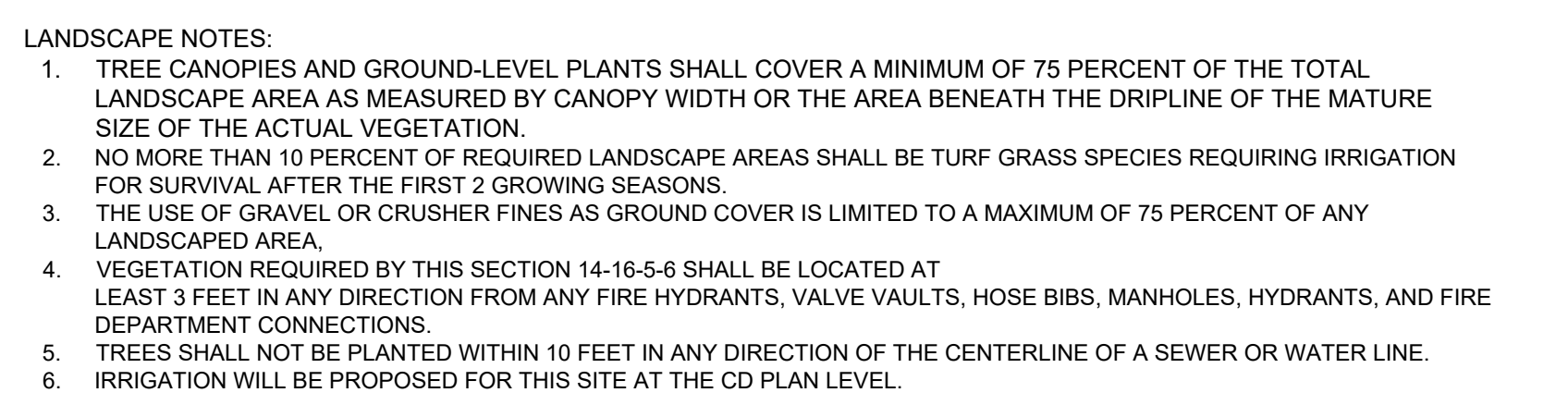
RV STORAGE - ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
SITE PLAN
CANOPY ELEVATIONS



PROJECT NO.
096648005
DRAWING NAME
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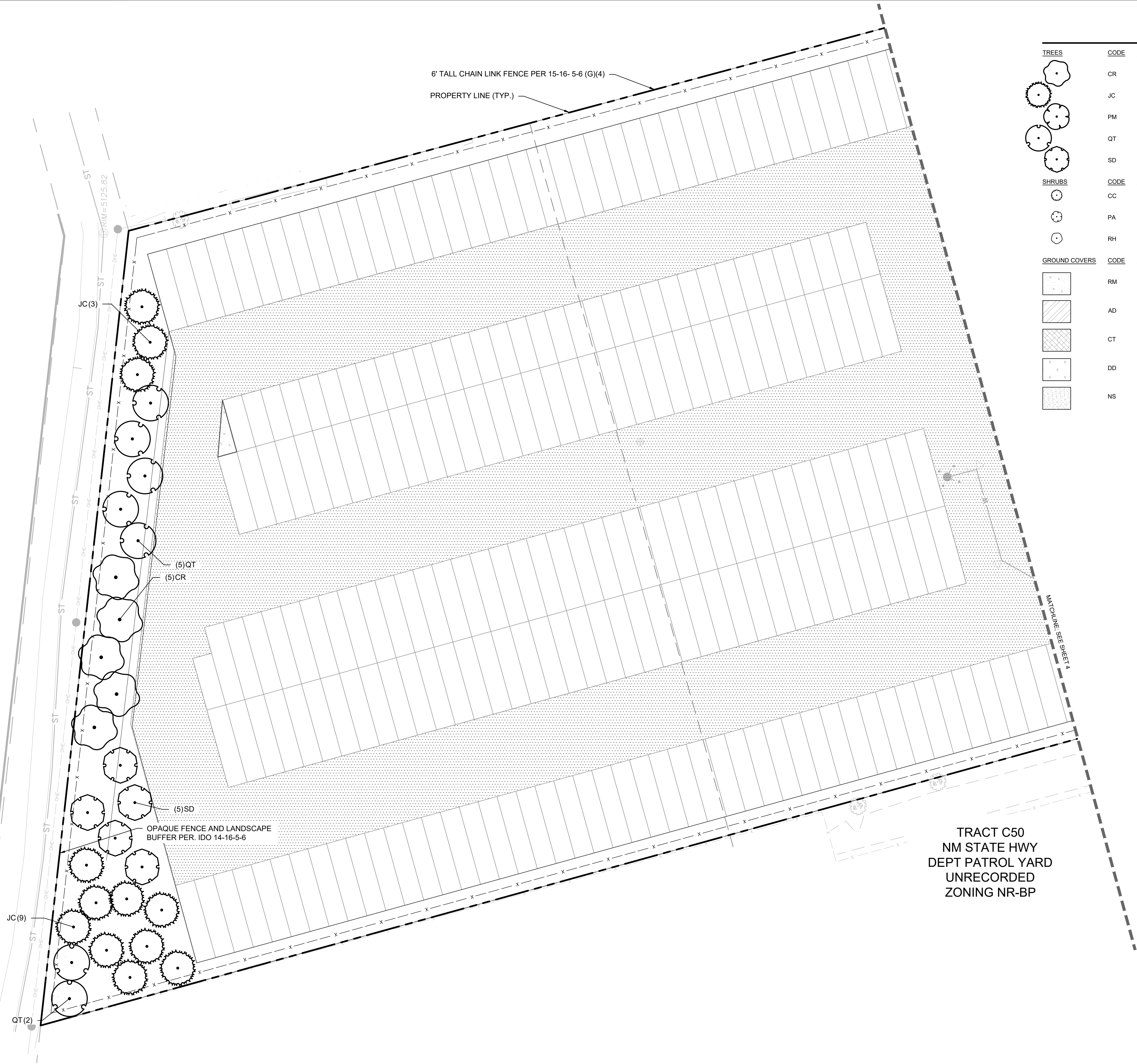
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11



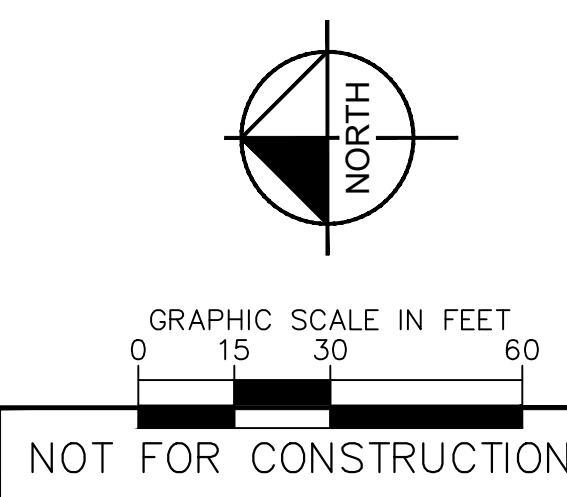
SITE ZONING							
ZONE							
NR-BP							
SITE LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED					
15% of total site area to be landscaped - 9.54 AC (415,562 SF)	61,728 SF	63,227 SF					
LANDSCAPE BUFFER	REQUIRED	PROVIDED					
Zone R1-A 1 tree/15 LF (450 LF/15 = 30 Trees)	30 Trees	30 Trees					
LANDSCAPE SETBACK							
STREET NAME	STREET NAME CLASSIFICATION	WIDTH (FT) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROV.	NO. OF SPECIES REQ./PROV.	
Volcano Rd. NW	Local	5/5	400	1/25 LF	16/16	5/5	

[illegible]

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TREES							
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CR	9	CELTIS RETICULATA	NETLEAF HACKBERRY	B & B	2" CAL MIN	12' HT MIN
	JC	16	JUNIPERUS CHINENSIS	JUNIPER	B & B		6' HT MIN
	PM	5	PROSOPIS GLANDULOSA 'MAVERICK' TM	HONEY MESQUITE	B & B	2" CAL MIN	12' HT MIN
	QT	11	QUERCUS TURBINELLA	SONORAN SCRUB OAK	B & B	2" CAL MIN	12' HT MIN
	SD	8	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	12' HT MIN
SHRUBS							
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CC	30	CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL	SEE PLAN	18" HT MIN
	PA	13	PENSTEMON AMBIGUUS	GILIA BEARDTONGUE	5 GAL	SEE PLAN	12" HT MIN
	RH	7	RUDBECKIA HIRTA	BLACK-EYED SUSAN	5 GAL	SEE PLAN	12" HT MIN
GROUND COVERS							
	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	2,449 SF	1-1/2" - 2" RIVER ROCK MULCH		-		
	AD	64	ANACYCLUS DEPRESSUS	ALTAS DAISY	4" P.P.	4" POTS	12" OC 12" o.c.
	CT	71	CERASTIUM TOMENTOSUM	SNOW IN SUMMER	1 GAL	4" POTS	18" OC 18" o.c.
	DD	8,452 SF	WILDFLOWER AND NATIVE-GRASS SEED	PER ABQ CITY SPECIFICATION 1012.2.2.4	SEED		
	NS	52,326 SF	NATIVE-GRASS SEED	PER ABQ CITY SPECIFICATION 1012.2.2.3	SEED		



RV STORAGE - ALBUQUERQUE

ALBUQUERQUE, NEW MEXICO

SITE PLAN

LANDSCAPE PLAN

PROJECT NO.
096648005

DRAWING NAME
096648005_LA.dwg

SHEET
13

LEGAL DESCRIPTION:
SECTION 21, TOWNSHIP 10
NORTH, RANGE 2 EAST, CITY
OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW
MEXICO, TRACTS C48 AND
C49, UNIT 4.

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DESIGNED BY: AEM
DRAWN BY: AEM
CHECKED BY: SAL
DATE: 2/26/21

NO.

REVISION

BY

DATE

APPR

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

17. AMEND FINE AND CAR PLANT OPENINGS WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

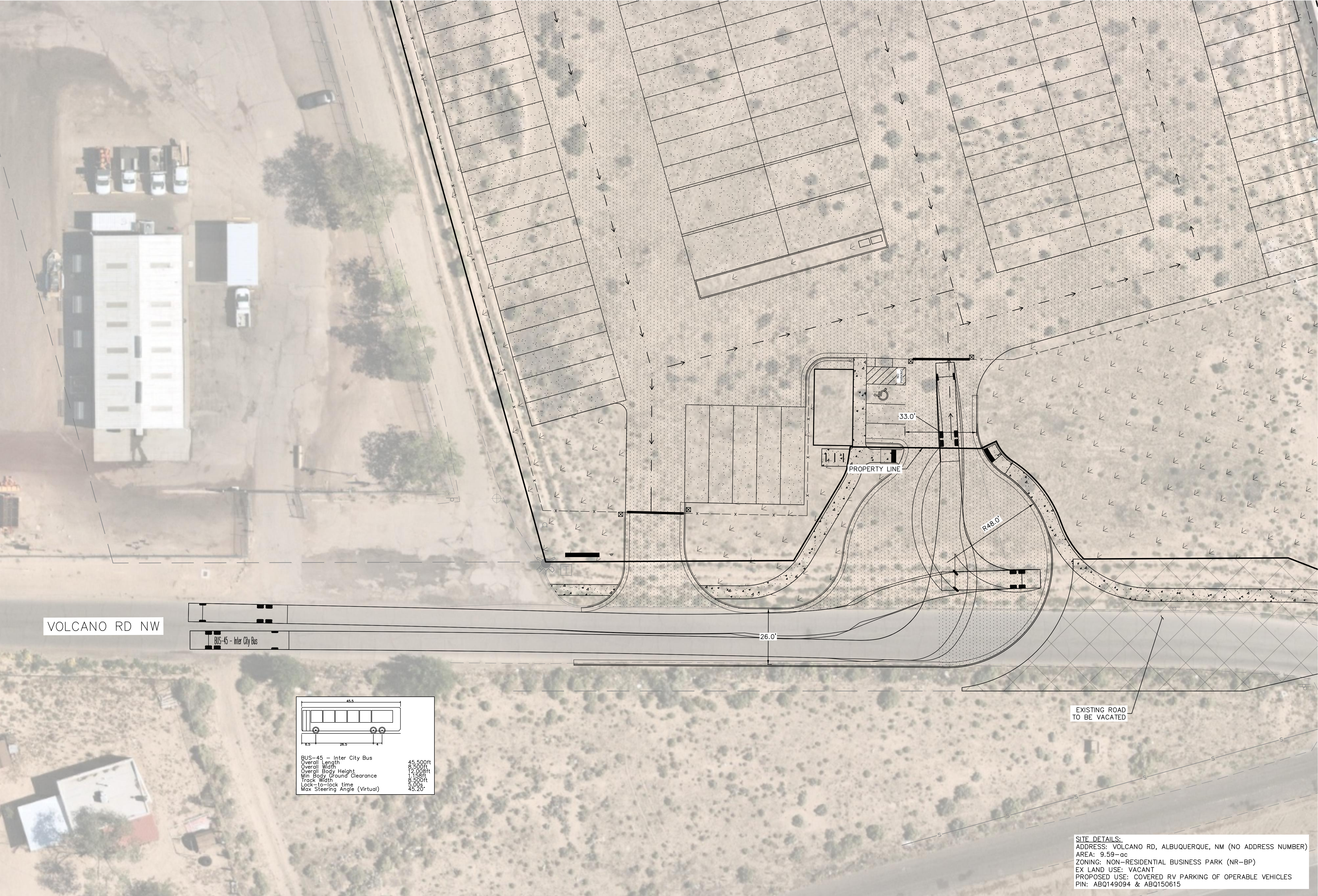
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

SHEE
14

SHEE
15



RV STORAGE - ALBUQUERQUE
TRUCK TURN EXHIBIT

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: RV Storage - ABQ

AGIS MAP # Zone Atlas Map: K-09-Z

LEGAL DESCRIPTIONS: Tract C48 and C49, Unit 4 of Town of Atrisco Grant

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 02/24/2021 (date).

Stephen Litsas

Applicant/Agent

03/03/2021

Date

Renée C. Brissette

Hydrology Division Representative

03/04/21

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on 02/03/2021 (date).

Stephen Litsas

Applicant/Agent

03/03/2021

Date

ABCWUA Representative

Date

PROJECT # 2020-004757

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

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Hydrology Division Representative

Date

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Stephen Litsas



Applicant/Agent

03/03/2021

Date

Luis Ordóñez-Olivas



ABCWUA Representative

3/4/2021

Date

PROJECT # 2020-004757

March 25, 2021

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County of Bernalillo
Commissioner, District 2

Vice Chair
Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Walt Benson
County of Bernalillo
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Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Stephan Litsas
Kimley-Horn Associates, Inc.
4582 S Ulster Street, Suite 1500I
Denver, Colorado 80237

RE: Water and Sanitary Sewer Availability Statement #210111

Project Name: RV Storage - Albuquerque

**Legal Description: TR C-48 and C-49 TOWN OF ATRISCO GRANT UNIT 4 IN
SEC 21 T10N R2E**

UPC: 100905746717740609 & 100905748517640611

Zone Atlas Map: K-9

Dear Mr. Litsas:

Project Description: The subject site is located on the northwest corner of the intersection of Volcano Rd and Central Ave. within the City of Albuquerque. The proposed development consists of approximately ten acres and the property is currently zoned NR-BP for business park use. The property lies within the Pressure Zone 2WR in the Atrisco trunk. The request for availability indicates plans to develop the site to accommodate a new recreational vehicle storage facility. It is understood that the facility will have 432 covered storage spaces totaling approximately 202,785 square feet and a 400 square foot office building.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six-inch cast iron distribution main (project #03-005-71) along Volcano Rd.
- 18-inch CCYL well collector line (project #09-004-77) along Volcano Rd.
- Six-inch cast iron distribution main (project #03-003-65) along Central Ave.
- Six-inch PVC distribution main (project #26-7172.81-05) located northeast of the site.

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch concrete pipe collector line (project #07-017-54) along Central Ave.
- Eight-inch PVC collector line (project #26-7172.81-05) located northeast of the site.

Water Service: New metered water service to the property can be provided contingent upon a developer funded project to replace the existing six (6) inch distribution main along Volcano Rd. with an eight (8) inch. The length of the extension shall be from the intersection of Volcano Rd. and Central Ave. to the southwest property corner of the site.

It is understood that a private fire line is required for the site. Please note that all onsite required hydrants are to be considered private and painted safety orange.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent

upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided contingent upon a developer funded project to extend a public eight (8) inch sanitary sewer collector line extension, from existing manhole #K09791, along Volcano Rd., the length required to cover the sites frontage.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. As modeled using InfoWater™ computer software, the fire flow cannot be met with the existing infrastructure along the site's frontage. It is to be noted that the fire flow can be met with the aforementioned developer funded improvements. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as

detailed in the Water Authority Water and Wastewater System Expansion Ordinance. Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Bernalillo County Department of Public Works and Water Authority Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

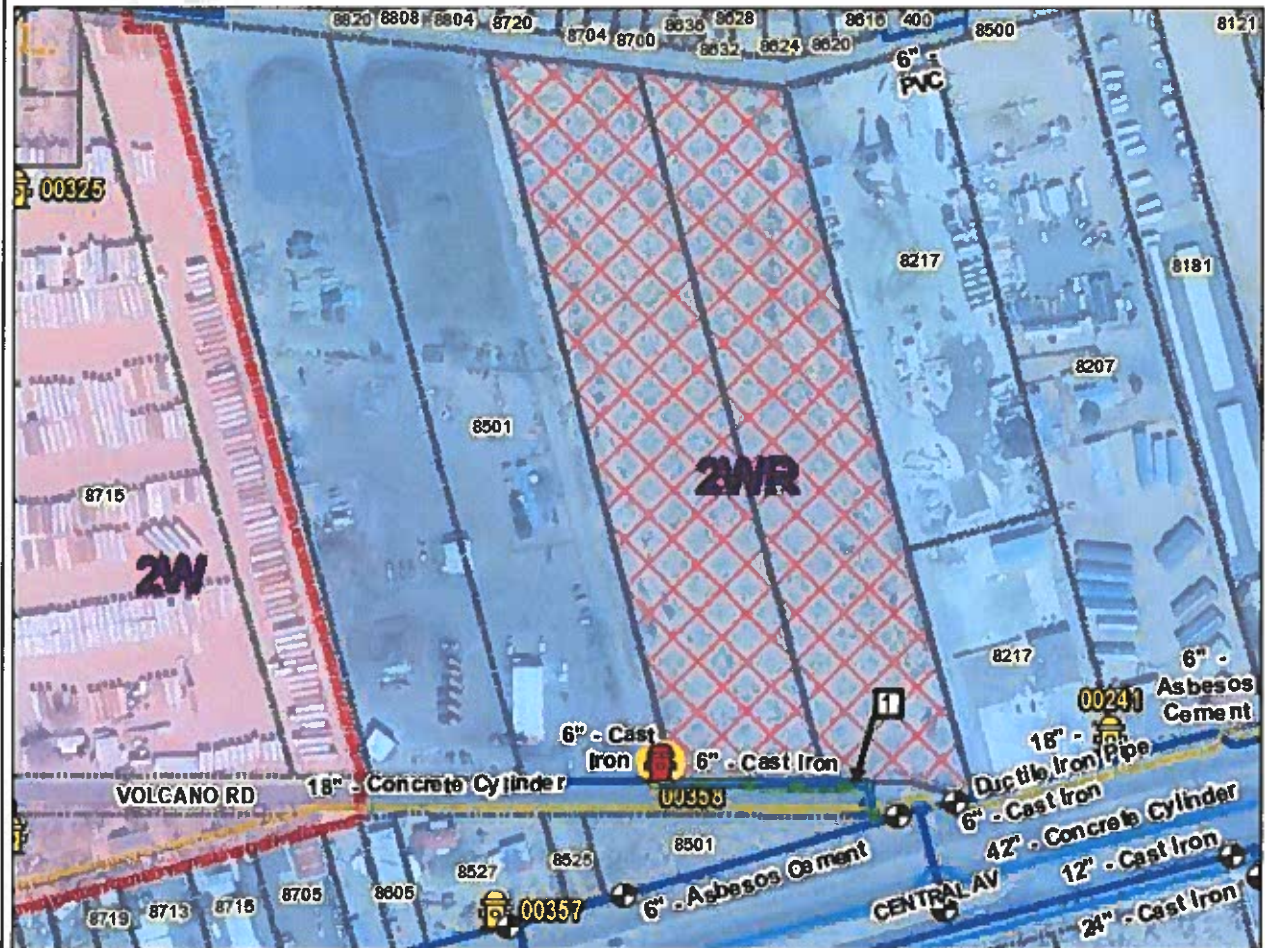
Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 210111

210111 - Water



Legend

Project Location

Valve

Hydrant

Hydrant

Pipe

SUBTYPE

Distribution Line

Hydrant Leg

In Zone Transmission

Well Collector Line

Pressure Zone Boundary

2W

2WR

0 450 900 Feet



--- General Map Keyed Notes

1. --- Existing Public Waterline To Be Upsized



210111 - Sanitary Sewer



Legend

 Project Location

 Sewer Manhole

Sewer Pipe

SUBTYPE

 COLLECTOR

0 450 900 Feet

 — General Map Keyed Notes

1. --- Proposed Sewer Extension

2. --- Connection Manhole K-09791



INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Albuquerque - RV Storage

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Section 21, Township 10 North, Range 2 East, City of Albuquerque, Bernalillo County, New Mexico. Tracts C48 and C49, Unit 4

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		8"	Replace (upsized) existing water main (Approx. 325')	Volcano Road NE	Existing main in Central Avenue at Volcano Road	Southwestern property corner of development site	/	/	/
		8"	Extend public sanitary sewer collector line (Approx. 505')	Volcano Road NE	Existing manhole #K09791	Southwestern property corner of development site	/	/	/
		7,330 S.F., 26' wide from face of curb to face of curb.	Asphalt pavement; (96-foot diameter cul-de-sac)	Cul-de-sac at end of Volcano Road NE	Edge of existing pavement	Southern property line of development site	/	/	/
		6" curb and gutter	Construct new curb and gutter	Improvements shown along Volcano Road NE	Southwestern property line corner extension of development site	Southern property line of development site	/	/	/
		6' concrete sidewalk	Construct new concrete sidewalk	Improvements shown along north side of Volcano Road NE	Southern property line of development site	~10' southwest of southeastern property corner of development site	/	/	/
		6' concrete sidewalk	Construct new concrete sidewalk	From cul-de-sac to frontage road	Southern property line of development site	~ 10.5' South from southwestern property corner of development site	/	/	/
		890 S.F.	Demolition of existing asphalt pavement	Abutting proposed paving improvements	Existing edge of pavement (~20' south of southern property line of development site)	Limits of new curb and gutter in cul-de-sac beyond existing edge of asphalt and southern property line of development site	/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		







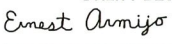
NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
STEPHEN LITSAS	 May 5, 2021	 May 5, 2021
NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
KIMLEY-HORN	 May 5, 2021	
	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	 May 5, 2021	 May 5, 2021
	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	 May 5, 2021	
	CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER











PR-2020-004757_SI-2021-00307_Infrastructure List_Approved_5-5-21

Final Audit Report

2021-05-05

Created:	2021-05-05
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAoAWSC4COM2vAri-zEGEYCYLbyo6_HJ_

"PR-2020-004757_SI-2021-00307_Infrastructure List_Approved_5-5-21" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2021-05-05 - 5:54:48 PM GMT- IP address: 174.56.105.21
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature
2021-05-05 - 5:59:16 PM GMT
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
2021-05-05 - 5:59:16 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
2021-05-05 - 5:59:16 PM GMT
-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
2021-05-05 - 5:59:16 PM GMT
-  Document emailed to Carl Garcia (cagarcia@cabq.gov) for signature
2021-05-05 - 5:59:17 PM GMT
-  Document emailed to Blaine Carter (bcarter@abcwua.org) for signature
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-  Email viewed by Carl Garcia (cagarcia@cabq.gov)
2021-05-05 - 6:00:00 PM GMT- IP address: 35.164.103.187
-  Document e-signed by Carl Garcia (cagarcia@cabq.gov)
Signature Date: 2021-05-05 - 6:00:13 PM GMT - Time Source: server- IP address: 198.206.237.4
-  Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)
2021-05-05 - 6:14:37 PM GMT- IP address: 34.220.19.140



Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)

Signature Date: 2021-05-05 - 6:14:45 PM GMT - Time Source: server- IP address: 75.161.141.75



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2021-05-05 - 6:32:48 PM GMT- IP address: 142.202.67.2



Document e-signed by Blaine Carter (bcarter@abcwua.org)

Signature Date: 2021-05-05 - 6:34:05 PM GMT - Time Source: server- IP address: 142.202.67.2



Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

2021-05-05 - 6:41:48 PM GMT- IP address: 35.160.213.18



Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Signature Date: 2021-05-05 - 6:42:13 PM GMT - Time Source: server- IP address: 73.242.176.142



Email viewed by Ernest Armijo (earmijo@cabq.gov)

2021-05-05 - 6:42:20 PM GMT- IP address: 34.220.234.166



Document e-signed by Ernest Armijo (earmijo@cabq.gov)

Signature Date: 2021-05-05 - 6:42:31 PM GMT - Time Source: server- IP address: 143.120.132.57



Email viewed by Jolene Wolfley (jwolfley@cabq.gov)

2021-05-05 - 6:44:02 PM GMT- IP address: 35.165.229.79



Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)

Signature Date: 2021-05-05 - 6:44:25 PM GMT - Time Source: server- IP address: 67.0.226.140



Agreement completed.

2021-05-05 - 6:44:25 PM GMT



[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Avalon NA

Name of NA Representative*: Lucy Anchondo

Email Address* or Mailing Address* of NA Representative¹: avalon3a@yahoo.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

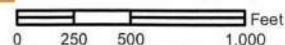
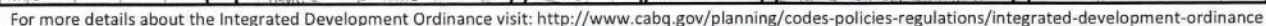
<https://ido.abc-zone.com/>

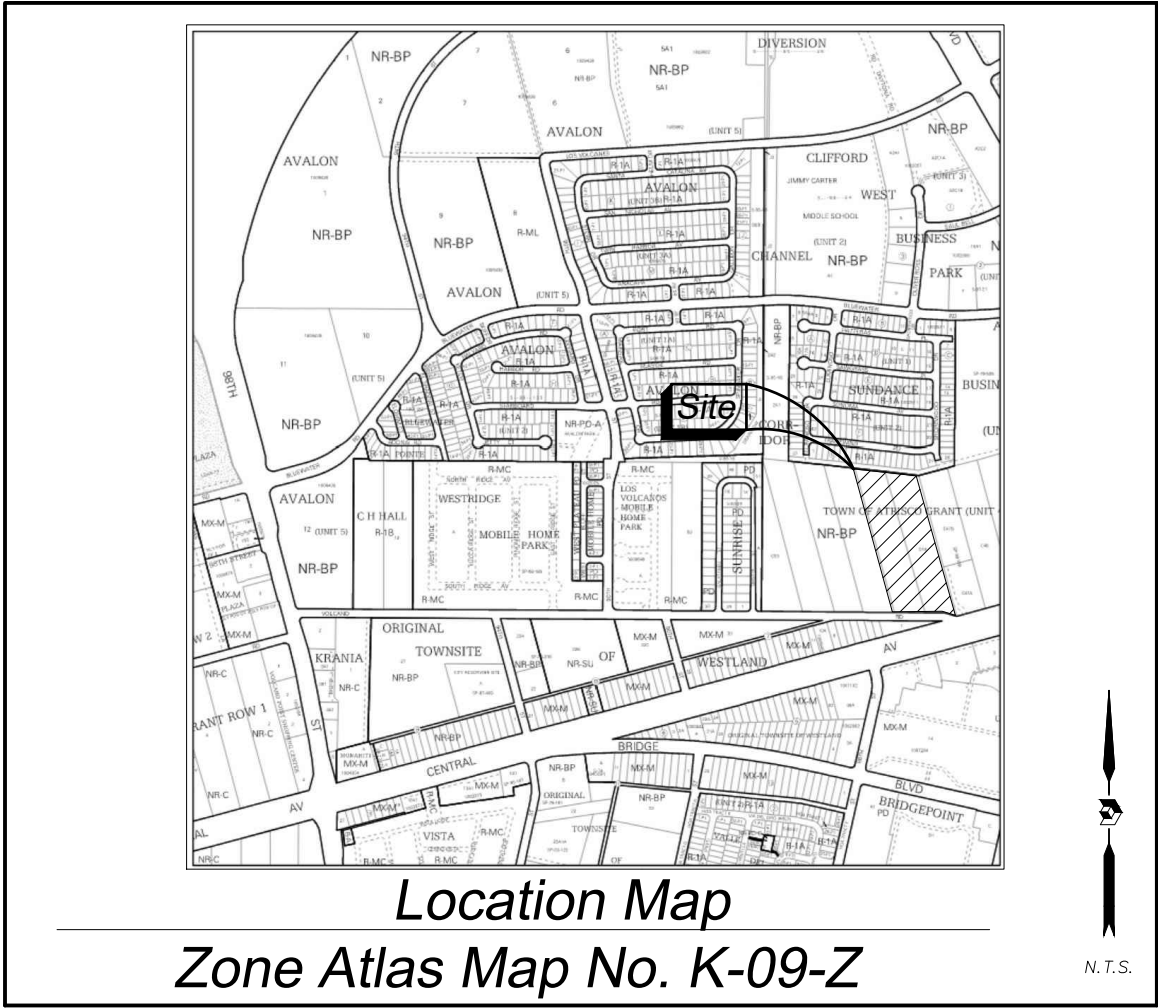
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>





Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 15°27'28" W, A DISTANCE OF 1035.89 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE S 83°40'24" E, A DISTANCE OF 448.10 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

THE REPLAT (CONSOLIDATION) SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

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WILL MATHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

Acknowledgment

STATE OF NEW YORK) SS
COUNTY OF ONTARIO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY
WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

Project No. PR-2020-004757

Application No. SD-2021-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

M.R.G.C.D. _____ DATE _____


Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993

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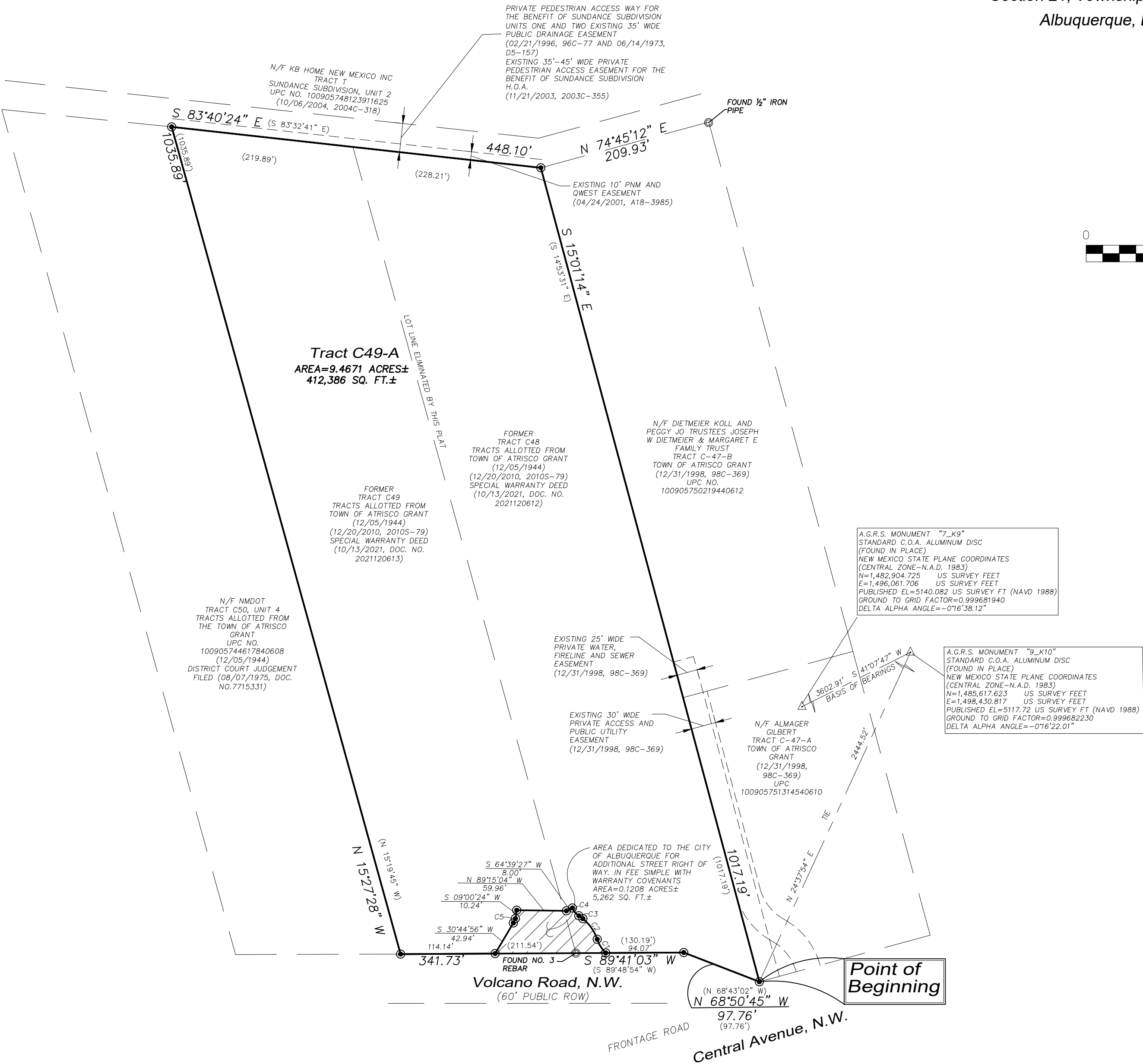
COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION													
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD		LAND GRANT TOWN OF ATRISCO GRANT		PROPERTY OWNER VOLCANO RV LP		<div><div></div><div>OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX</div></div>				CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020									
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		MATCHES DRAWING UNITS YES		SECTION 21						TOWNSHIP 10 NORTH		RANGE 2 EAST		MERIDIAN NMPM		SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK		CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY ALBUQUERQUE						COUNTY BERNALILLO		STATE NM		UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED		PSI JOB NO. 204146P		SHEET NUMBER 1 OF 2	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO															

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
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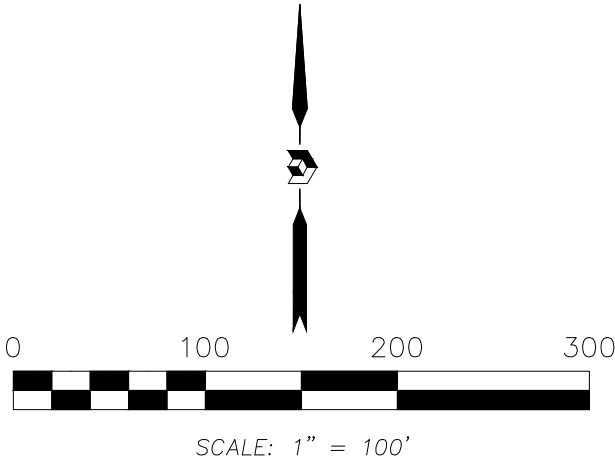
Curve Table

CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°56'12" W	11°39'28"




RECORDING STAMP

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021



COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP				CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020	
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COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND	BEARING ANNOTATION: GRID	ELEVATION TRANSLATION: ±0.00'	ELEVATIONS VALID: NO									



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX



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9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Avalon NA

Name of NA Representative*: Samantha Pina

Email Address* or Mailing Address* of NA Representative¹: ava99secretary@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

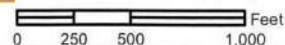
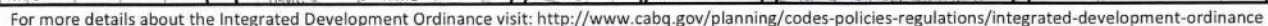
<https://ido.abc-zone.com/>

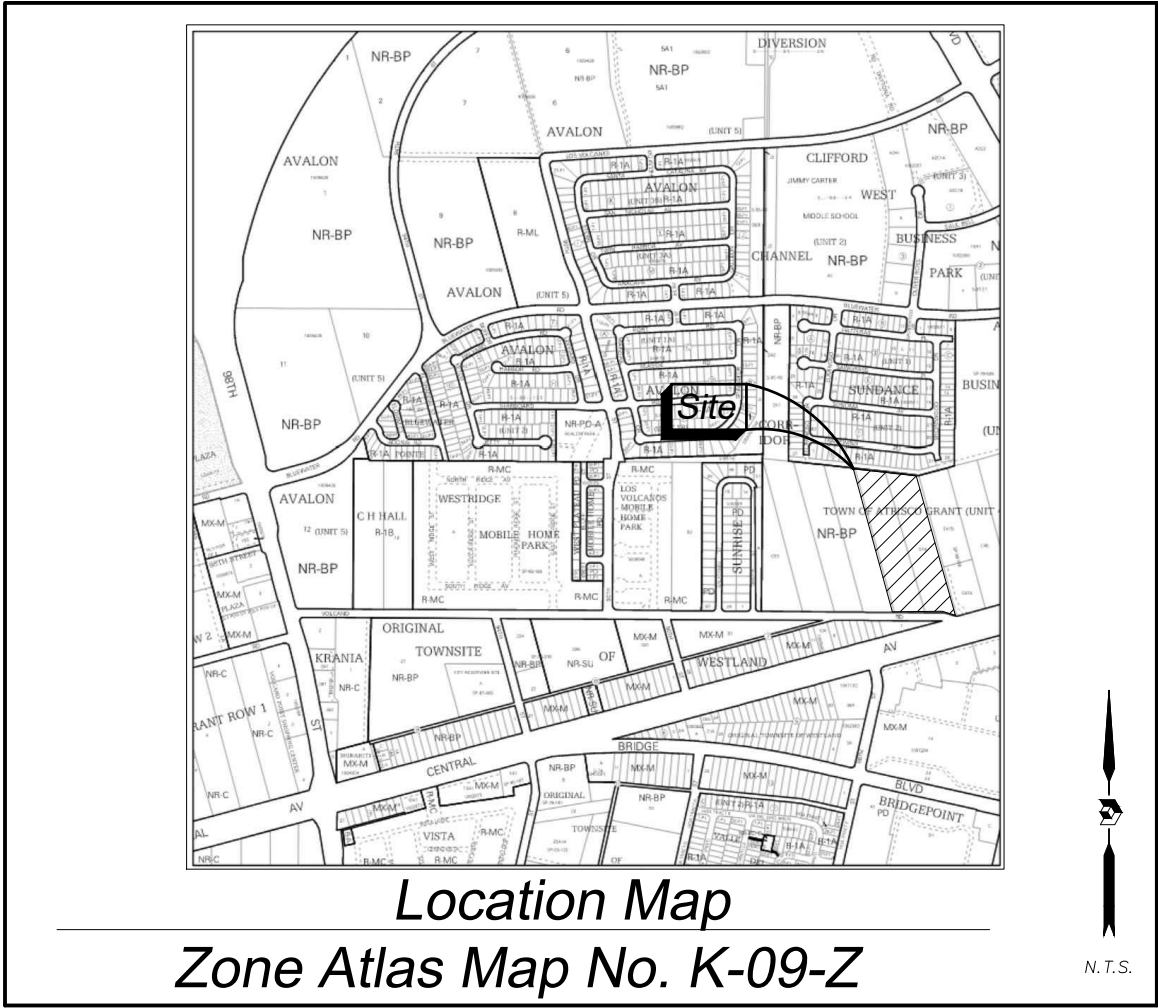
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>





Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 15°27'28" W, A DISTANCE OF 1035.89 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE S 83°40'24" E, A DISTANCE OF 448.10 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

THE REPLAT (CONSOLIDATION) SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

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WILL MATHEWS
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VOLCANO RV LIMITED PARTNERSHIP

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WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
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Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
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Utility Approvals

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NEW MEXICO GAS COMPANY _____ DATE _____

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COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

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AMAFCA _____ DATE _____

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CODE ENFORCEMENT _____ DATE _____

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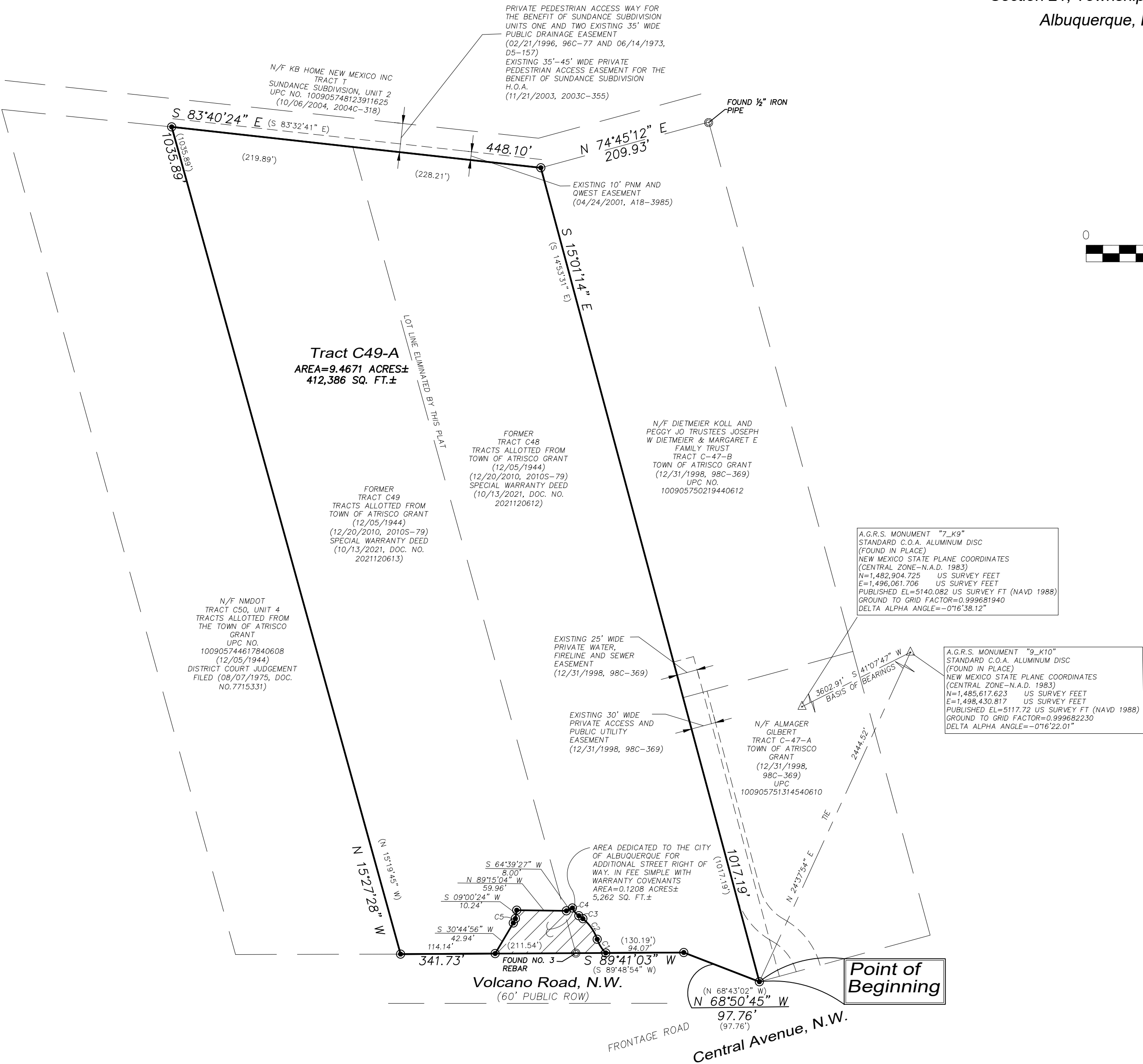
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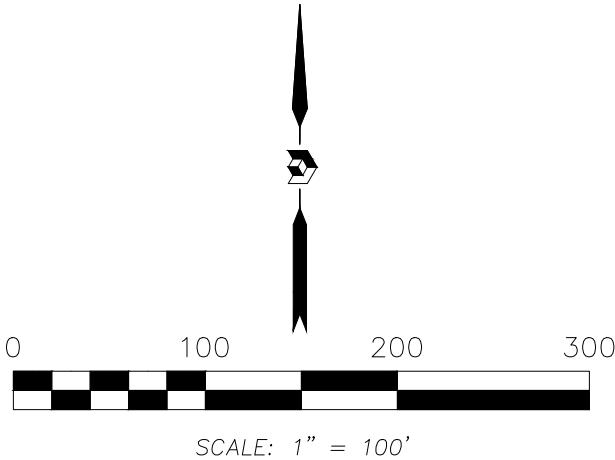
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CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°56'12" W	11°39'28"




RECORDING STAMP

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021



COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION			PROJECT INFORMATION				
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP			CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020		
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES				SECTION 21		TOWNSHIP 10 NORTH		RANGE 2 EAST		MERIDIAN NMPM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		CITY ALBUQUERQUE		COUNTY BERNALILLO		STATE NM		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO		UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED		PSI JOB NO. 204146P		
				BEARING ANNOTATION: GRID										SHEET NUMBER 2 OF 2		



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative*: Luis Hernandez Jr

Email Address* or Mailing Address* of NA Representative¹: luis@wccd.org

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*: _____

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

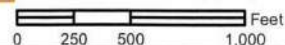
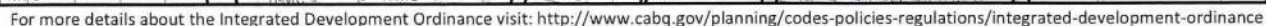
<https://ido.abc-zone.com/>

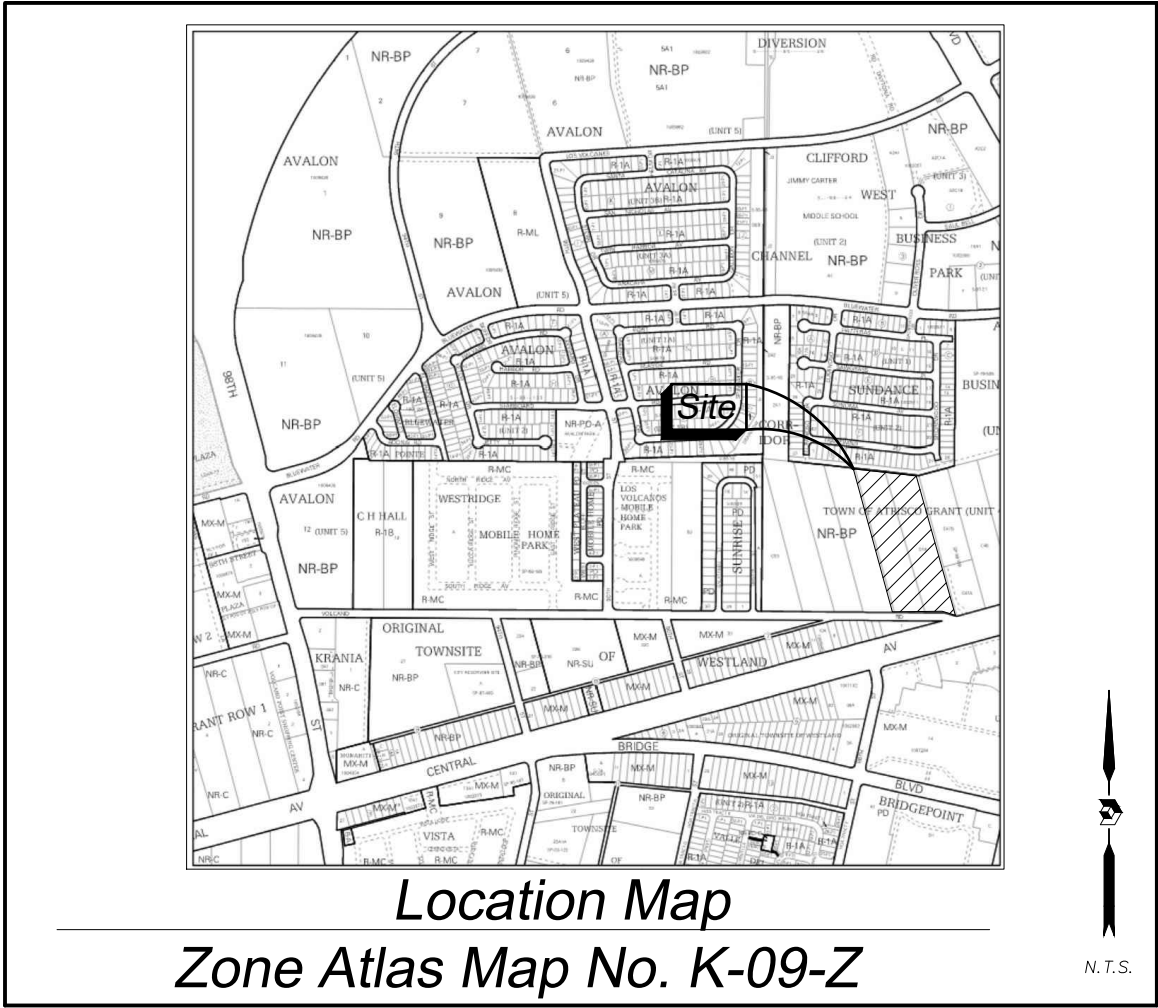
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>





Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Notes:

- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 15°27'28" W, A DISTANCE OF 1035.89 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE S 83°40'24" E, A DISTANCE OF 448.10 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

THE REPLAT (CONSOLIDATION) SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

WILL MATHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

Acknowledgment

STATE OF NEW YORK) SS
COUNTY OF ONTARIO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY
WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

Project No. PR-2020-004757

Application No. SD-2021-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

M.R.G.C.D. _____ DATE _____


Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993

WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE STAMP OR EMBOSSED STAMP



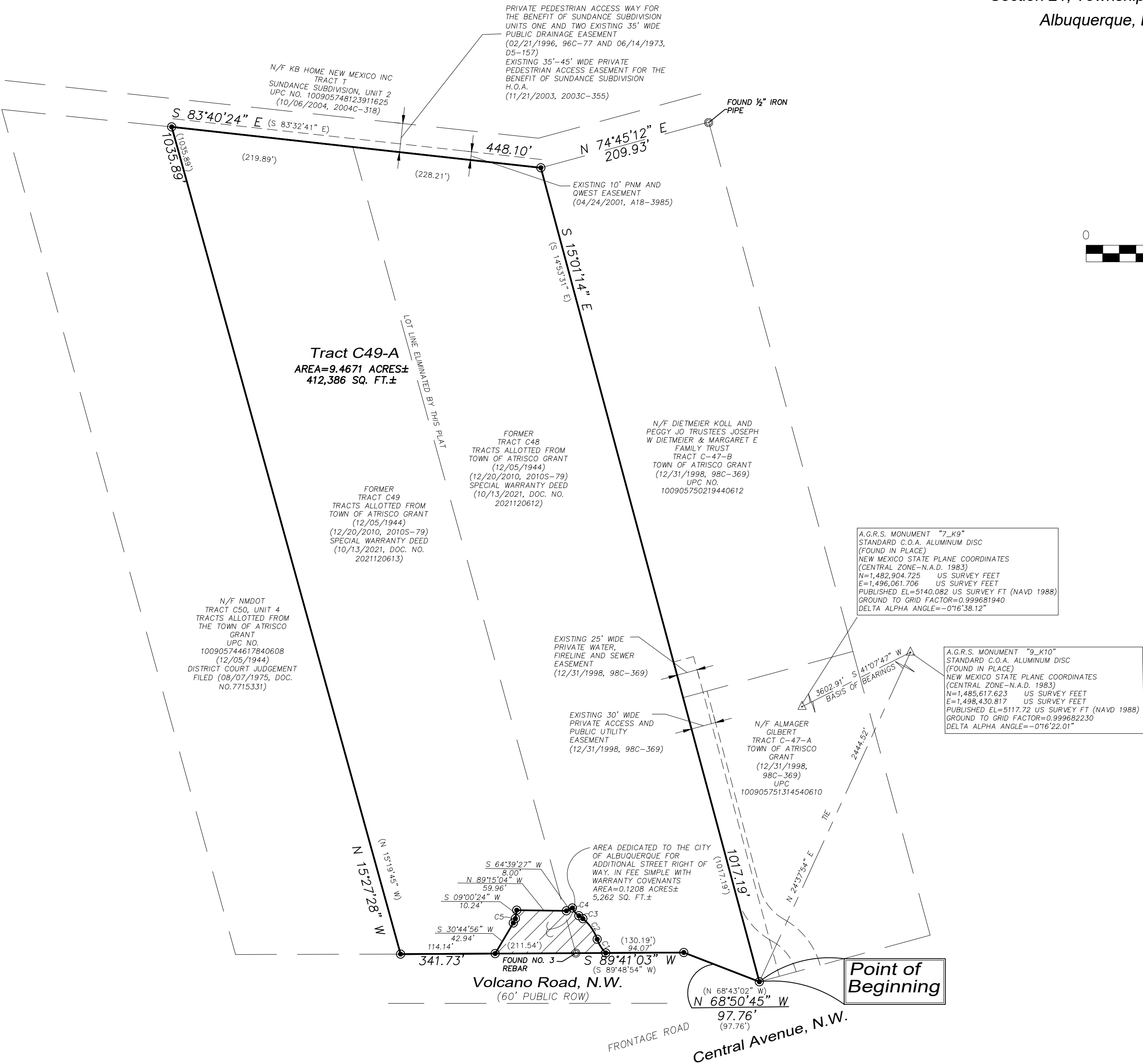
COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION			PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP			<div><div>OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX</div></div>		CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK			CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM			BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE		COUNTY BERNALILLO	STATE NM	UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611	ADDRESS NOT ASSIGNED	PSI JOB NO. 204146P			SHEET NUMBER 1 OF 2	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085			DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO								

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

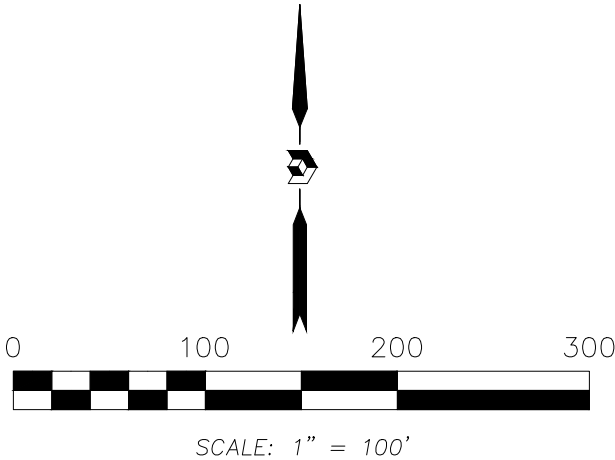
Curve Table

CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
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RECORDING STAMP

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021



COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION			PROJECT INFORMATION				
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP			CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020		
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES				SECTION 21		TOWNSHIP 10 NORTH		RANGE 2 EAST		MERIDIAN NMPM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		CITY ALBUQUERQUE		COUNTY BERNALILLO		STATE NM		
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO		UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED		PSI JOB NO. 204146P		
				BEARING ANNOTATION: GRID										SHEET NUMBER 2 OF 2		



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX



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[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative*: Jerry Gallegos

Email Address* or Mailing Address* of NA Representative¹: jgallegoswccdg@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

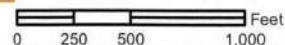
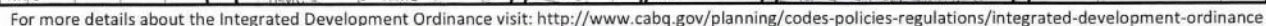
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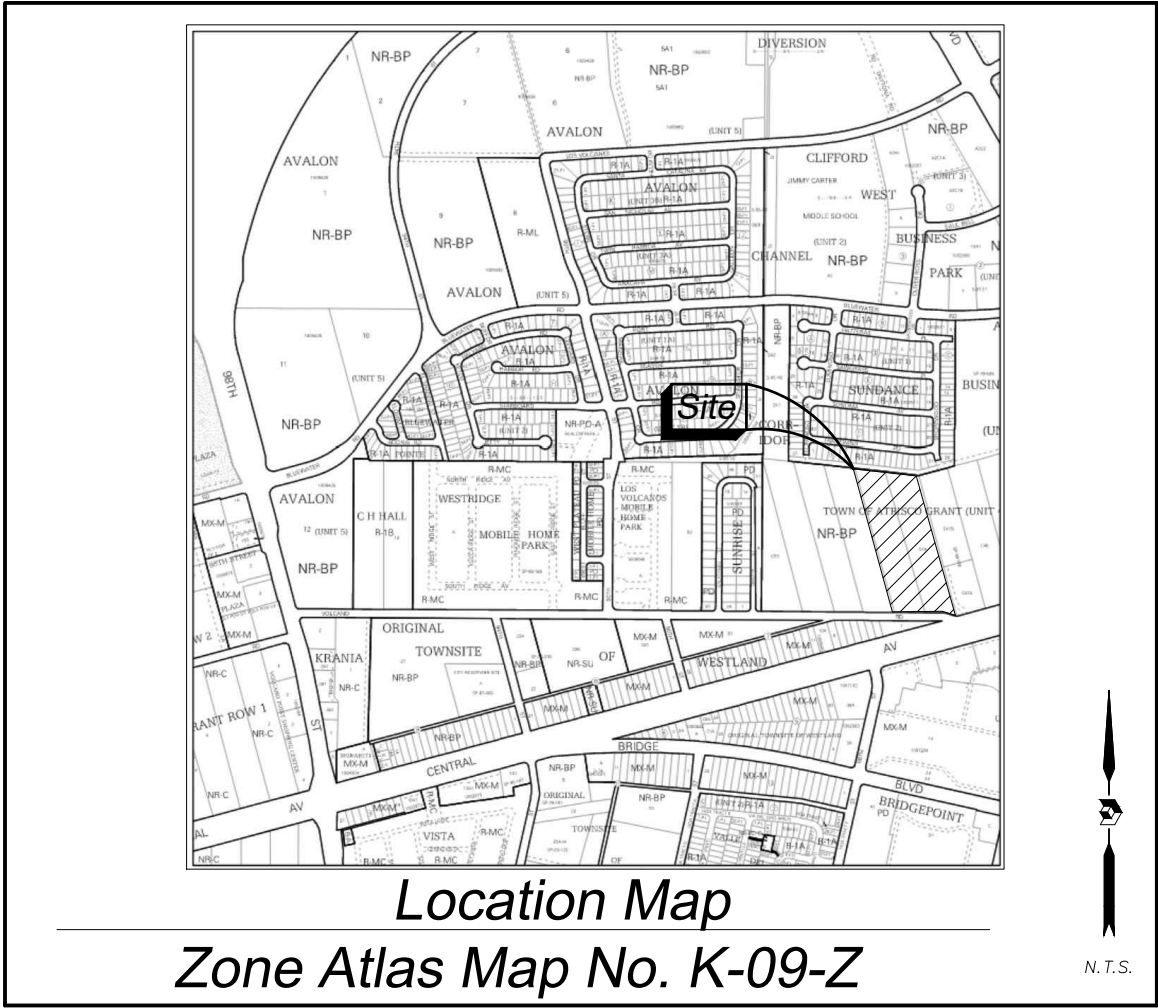
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>





Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

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INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

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- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 15°27'28" W, A DISTANCE OF 1035.89 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT;

THENCE S 83°40'24" E, A DISTANCE OF 448.10 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT;

THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

THE REPLAT (CONSOLIDATION) SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

WILL MATHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

Acknowledgment

STATE OF NEW YORK) SS
COUNTY OF ONTARIO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY
WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

Project No. PR-2020-004757

Application No. SD-2021-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

M.R.G.C.D. _____ DATE _____


Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
N.M.P.S. No. 11993

WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE STAMP OR EMBOSSED STAMP



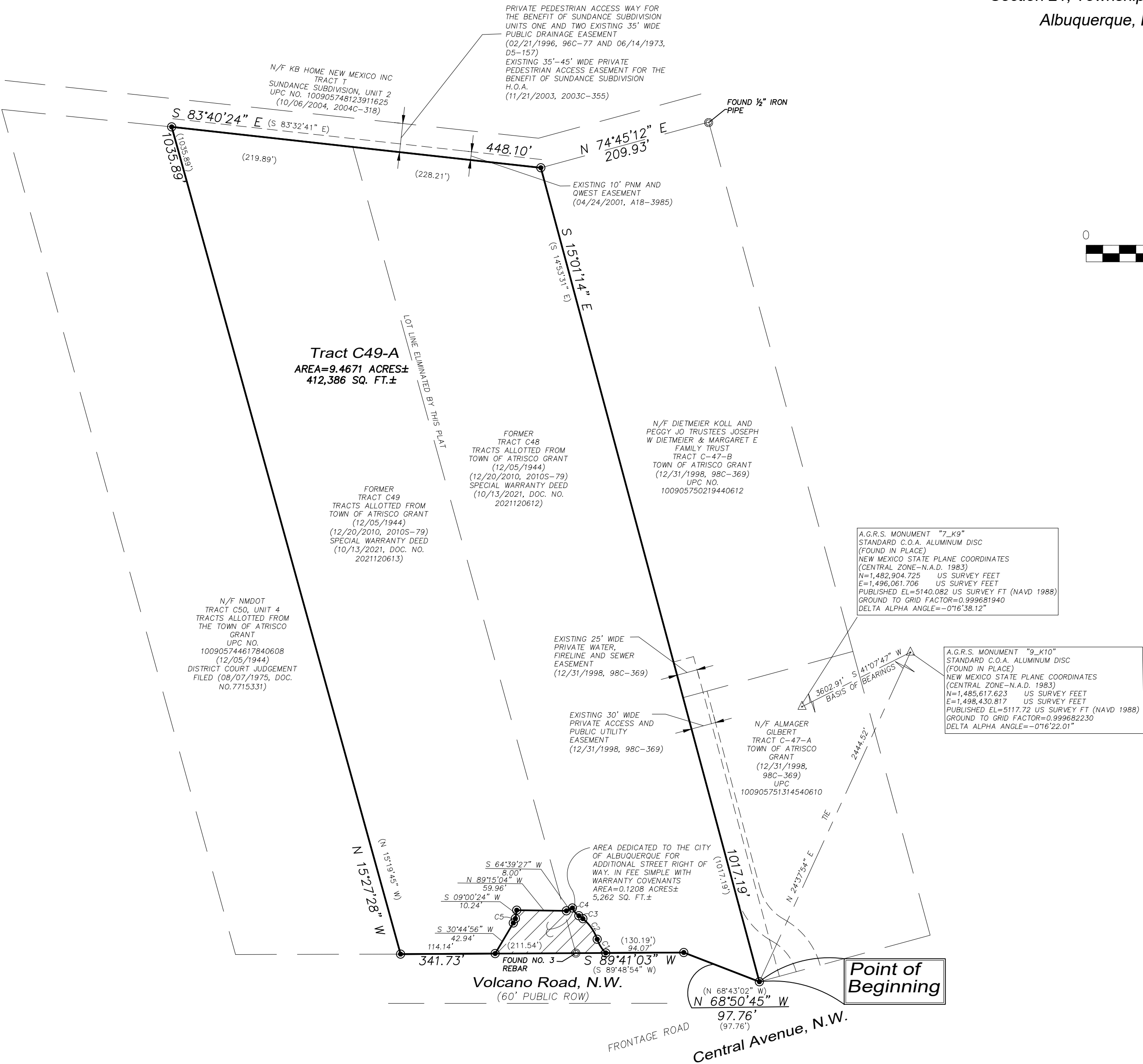
COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION											
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD		LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP				<div><div></div><div>OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113 505.856.5700 PHONE 505.856.7900 FAX</div></div>		CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020					
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"		MATCHES DRAWING UNITS YES		SECTION 21		TOWNSHIP 10 NORTH		RANGE 2 EAST				MERIDIAN NMPM		SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK		CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				CITY ALBUQUERQUE				COUNTY BERNALILLO				STATE NM		UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED		PSI JOB NO. 204146P	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO													

Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES	
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

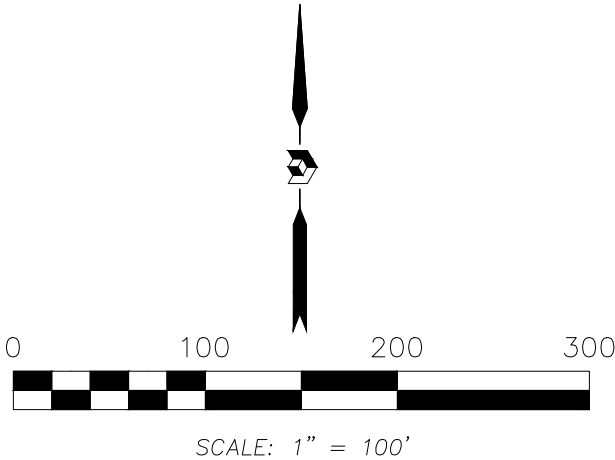
Curve Table

CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°58'12" W	11°39'28"




RECORDING STAMP

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021



COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP				CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020	
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES				SECTION 21		TOWNSHIP 10 NORTH		RANGE 2 EAST		MERIDIAN NMPM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0				SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		PSI JOB NO. 204146P		SHEET NUMBER 2 OF 2				
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085		DISTANCE ANNOTATION: GROUND		BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO		CITY ALBUQUERQUE		COUNTY BERNALILLO		STATE NM		
								UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED						



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX



OFFICE LOCATION:
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Albuquerque, NM 87113

505.856.5700 PHONE
505.856.7900 FAX

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Elizabeth Haley

Email Address* or Mailing Address* of NA Representative¹: ekhaley@comcast.net

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
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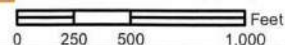
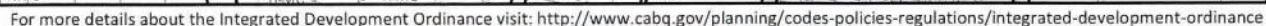
<https://ido.abc-zone.com/>

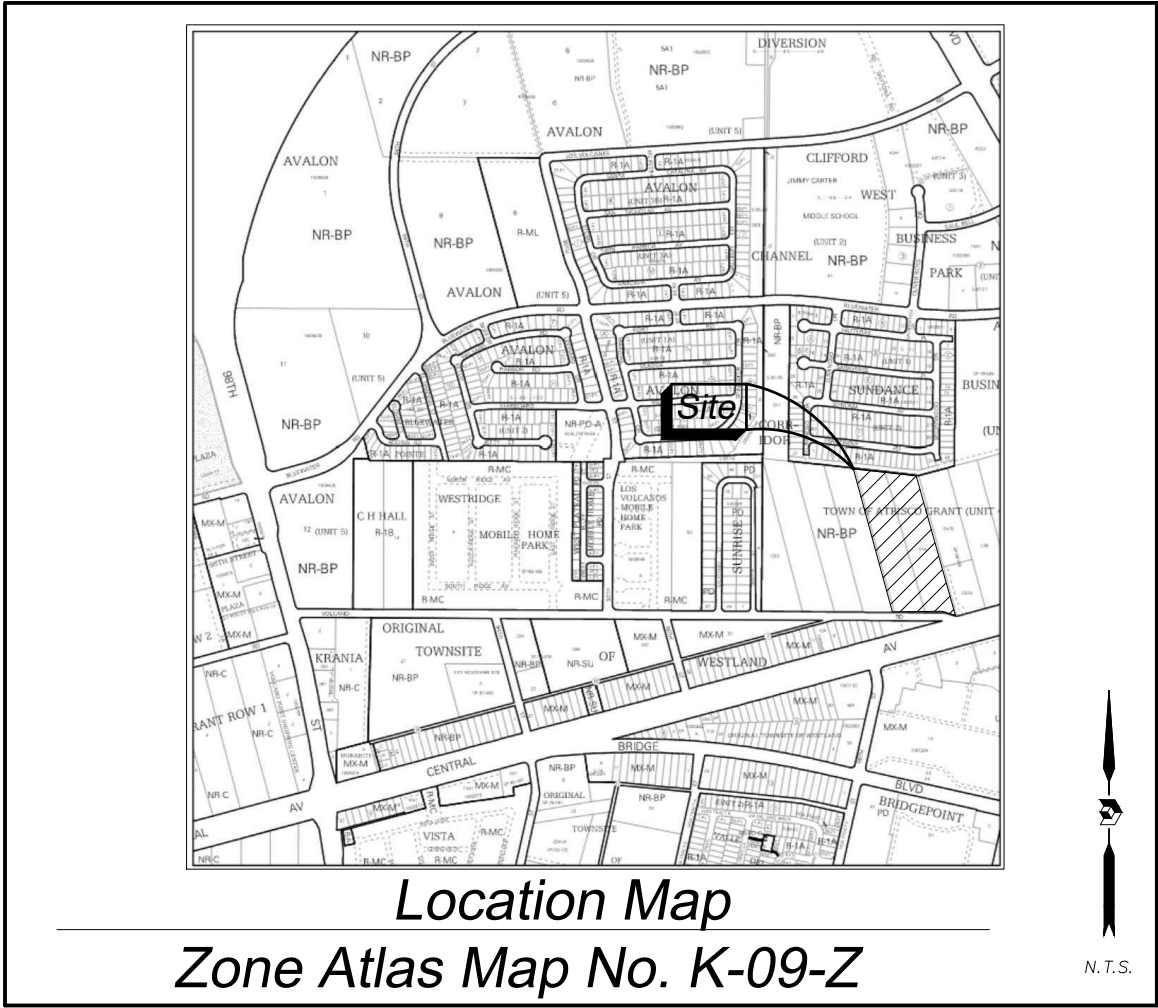
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

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Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
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- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

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IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF TRACTS C48 AND C49, UNIT 4, TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, AS THE SAME ARE SHOWN DESIGNATED ON PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO ON DECEMBER 5, 1944 AND AS SHOWN ON THE BOUNDARY SURVEY PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 20, 2010, IN MAP BOOK 2010S, PAGE 79, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM, GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., AND THE NORTH RIGHT OF WAY OF CENTRAL AVENUE, N.W., MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993" FROM WHENCE A TIE TO A.G.R.S. MONUMENT "9_K10" BEARS N 24°37'54" E, A DISTANCE OF 2444.52 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID NORTH RIGHT OF WAY LINE OF VOLCANO ROAD, N.W., N 68°50'45" W, A DISTANCE OF 97.76 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, S 89°41'03" W, A DISTANCE OF 341.73 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT;

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THENCE S 15°01'14" E, A DISTANCE OF 1017.19 FEET TO THE POINT OF BEGINNING, CONTAINING 9.5879 ACRES (417,648 SQUARE FEET), MORE OR LESS, NOW COMPRISING OF TRACT C49-A, LESS THAN AND EXCEPTING THEREFROM THAT AREA DEDICATED TO THE CITY OF ALBUQUERQUE FOR ADDITIONAL STREET RIGHT OF WAY.

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO CONSOLIDATE THE EXISTING TWO TRACTS INTO ONE NEW TRACT AND TO DEDICATE ADDITIONAL STREET RIGHT OF WAY

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

M.R.G.C.D. Note:

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS ARE FULLY RESERVED TO SAID DISTRICT AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

Free Consent and Dedication

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SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

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WILL MATHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

Acknowledgment

STATE OF NEW YORK) SS
COUNTY OF ONTARIO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2021 BY
WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

Project No. PR-2020-004757

Application No. SD-2021-

Utility Approvals

PNM _____ DATE _____

NEW MEXICO GAS COMPANY _____ DATE _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ DATE _____

COMCAST _____ DATE _____

City Approvals

Loren N. Risenhoover P.S. 11/1/2021
CITY SURVEYOR _____ DATE _____

TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT _____ DATE _____

A.B.C.W.U.A. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CODE ENFORCEMENT _____ DATE _____

M.R.G.C.D. _____ DATE _____

Surveyor's Certificate

I, LARRY W. MEDRANO, A LICENSED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO _____ DATE _____
N.M.P.S. No. 11993

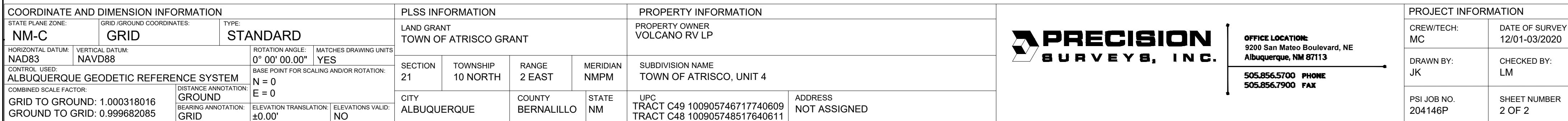
WET SIGNATURE IS INVALID IF NOT IN BLUE INK WITH BLUE STAMP OR EMBOSSED STAMP



COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION			<div><div><div><div></div><div>PRECISION</div><div>SURVEYS, INC.</div></div></div><div><div>OFFICE LOCATION:</div><div>9200 San Mateo Boulevard, NE Albuquerque, NM 87113</div><div>505.856.5700 PHONE 505.856.7900 FAX</div></div></div>			PROJECT INFORMATION	
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP						CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4					DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE		COUNTY BERNALILLO	STATE NM	UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611	ADDRESS NOT ASSIGNED				PSI JOB NO. 204146P	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND BEARING ANNOTATION: GRID		ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO								

N 90°00'00" E MEASURED BEARING AND DISTANCES	
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PB 11993"
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°55'12" W	11°39'28"



[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: 11/16/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Westside Coalition of Neighborhood Associations

Name of NA Representative*: Rene Horvath

Email Address* or Mailing Address* of NA Representative¹: aboard111@gmail.com

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* Central Ave NW at Volcano Rd NW
Location Description Tracts C48 and C49 Unit 4 Town of Artisco Grant
2. Property Owner* Volcano RV LP
3. Agent/Applicant* [if applicable] Stephen Litsas, Kimley-Horn
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - ☐ Conditional Use Approval
 - ☐ Permit _____ (Carport or Wall/Fence – Major)
 - ☐ Site Plan
 - ☒ Subdivision Minor (Minor or Major)
 - ☐ Vacation _____ (Easement/Private Way or Public Right-of-way)
 - ☐ Variance
 - ☐ Waiver
 - ☐ Other: _____

Summary of project/request²*:

Plat to combine two lots into one, and dedication of additional right-of-way along

Volcano Rd

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

☐ Zoning Hearing Examiner (ZHE)

☒ Development Review Board (DRB)

☐ Landmarks Commission (LC)

☐ Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9 am

Location*³: Remotely (via Zoom)

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

DRB Agenda, or by contacting: stephen.litsas@kimley-horn.com

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

☐ Deviation(s)

☐ Variance(s)

☐ Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): ☒ Yes ☐ No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

Meeting was offered via mailer on January 19, 2021. However, no invitees
requested a meeting and it was not held.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- ☐ a. Location of proposed buildings and landscape areas.*
- ☐ b. Access and circulation for vehicles and pedestrians.*
- ☐ c. Maximum height of any proposed structures, with building elevations.*
- ☐ d. **For residential development***: Maximum number of proposed dwelling units.
- ☐ e. **For non-residential development***:
 - ☐ Total gross floor area of proposed project.
 - ☐ Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

1. Area of Property [typically in acres] 9.6-ac
 2. IDO Zone District NR-BP
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

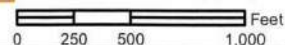
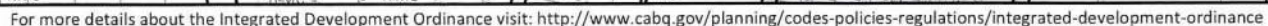
<https://ido.abc-zone.com/>

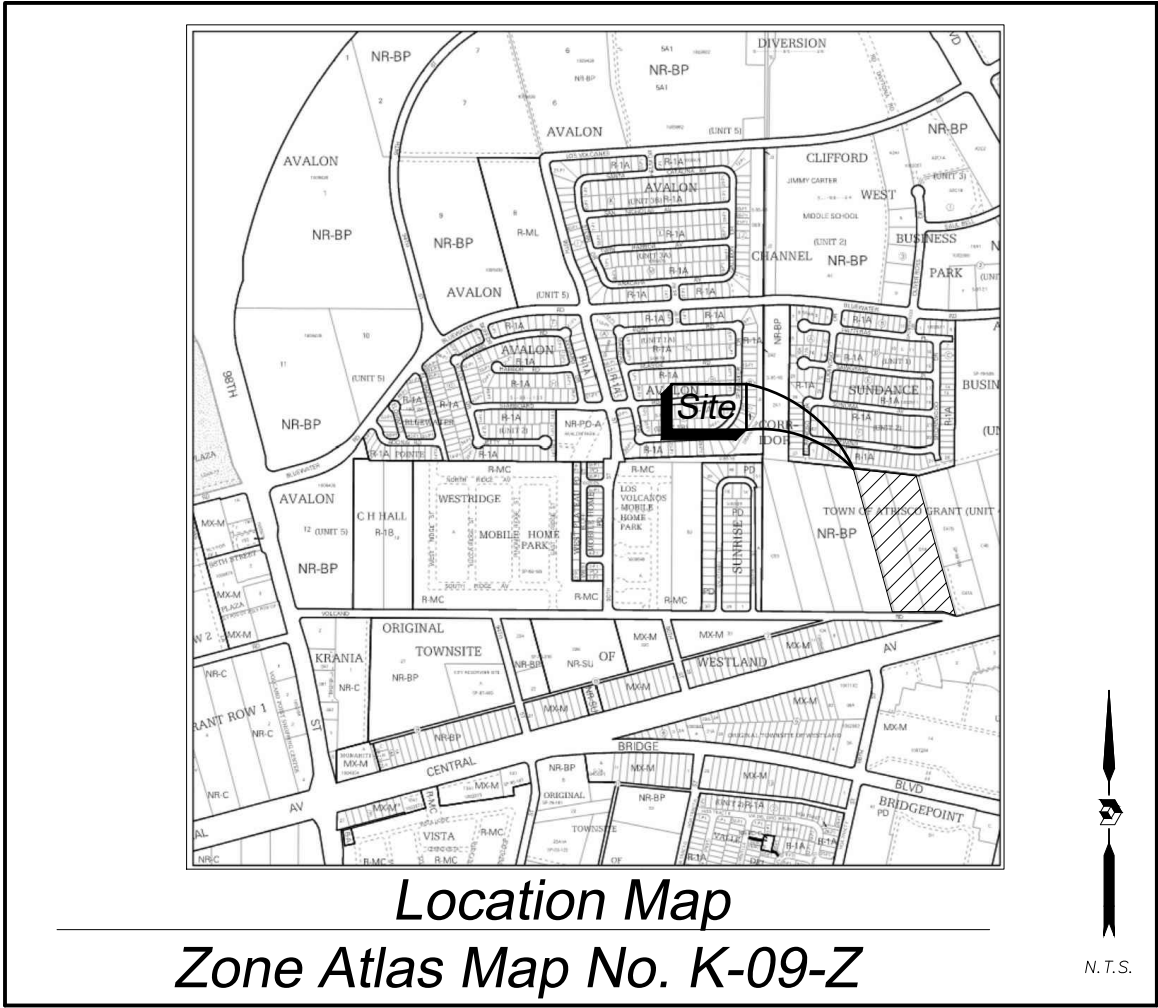
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>





Subdivision Data:

GROSS SUBDIVISION ACREAGE: 9.5879 ACRES±
ZONE ATLAS INDEX NO: K-09-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Notes:

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WILL MATHEWS
AUTHORIZED SIGNATORY
VOLCANO RV LIMITED PARTNERSHIP

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COUNTY OF ONTARIO)

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WILL MATHEWS, AUTHORIZED SIGNATORY, VOLCANO RV LIMITED PARTNERSHIP

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
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LARRY W. MEDRANO
N.M.P.S. No. 11993



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COORDINATE AND DIMENSION INFORMATION					PLSS INFORMATION				PROPERTY INFORMATION			PROJECT INFORMATION			
STATE PLANE ZONE: NM-C		GRID /GROUND COORDINATES: GRID		TYPE: STANDARD	LAND GRANT TOWN OF ATRISCO GRANT				PROPERTY OWNER VOLCANO RV LP			<div><div></div><div><div>OFFICE LOCATION: 9200 San Mateo Boulevard, NE Albuquerque, NM 87113</div><div>505.856.5700 PHONE 505.856.7900 FAX</div></div></div>		CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
HORIZONTAL DATUM: NAD83		VERTICAL DATUM: NAVD88		ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4				DRAWN BY: JK	CHECKED BY: LM
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE		COUNTY BERNALILLO	STATE NM	UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611	ADDRESS NOT ASSIGNED			PSI JOB NO. 204146P	SHEET NUMBER 1 OF 2
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085				DISTANCE ANNOTATION: GROUND		ELEVATION TRANSLATION: ELEVATIONS VALID:									
				BEARING ANNOTATION: GRID		±0.00'		NO							



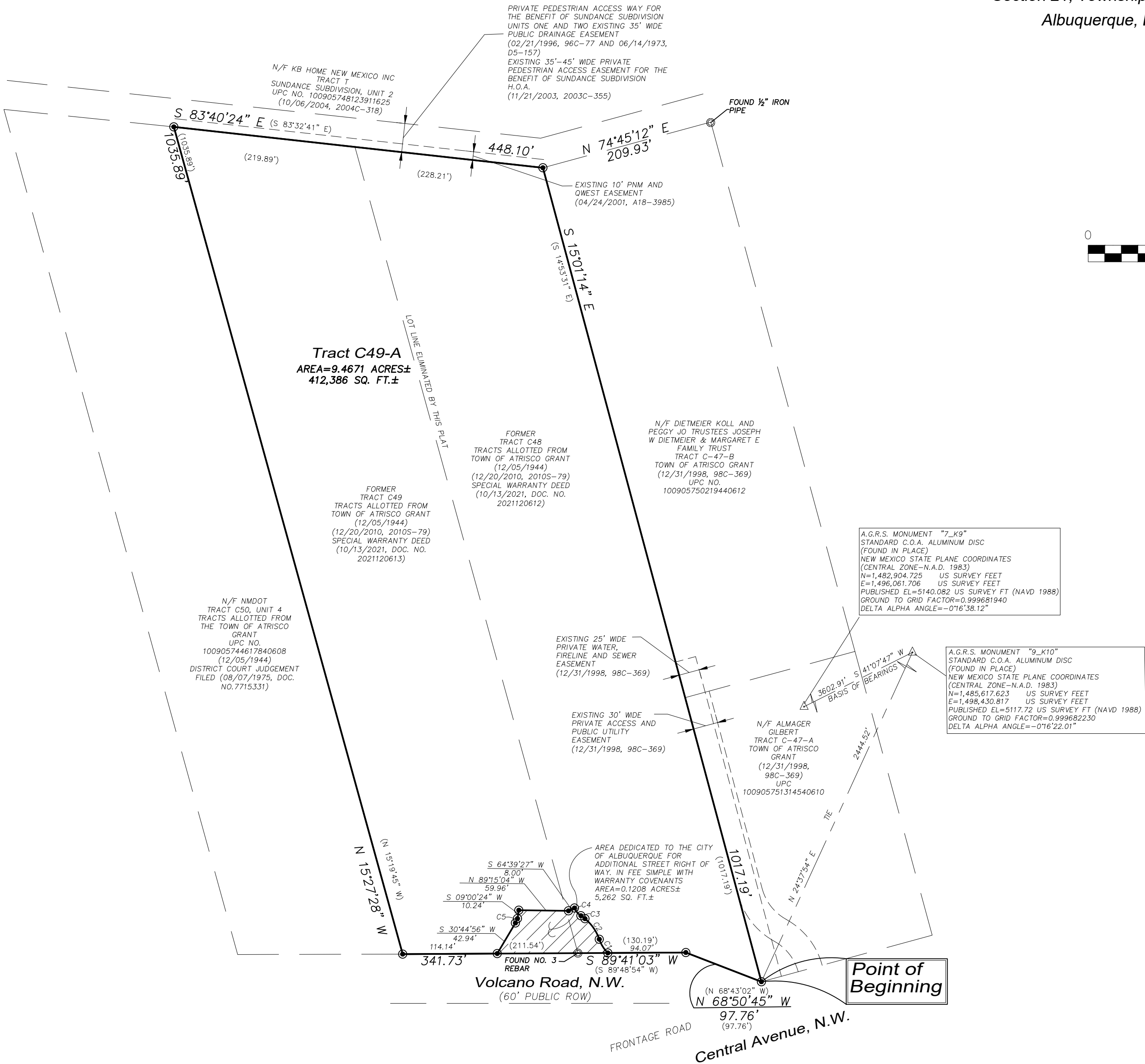
OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES	
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	FOUND NO. 5 REBAR WITH PINK PLASTIC CAP "PS 11993"
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

Curve Table

CURVE	RADIUS2	ARC LENGTH2	CHORD LENGTH2	CHORD BEARING	DELTA ANGLE
C1	43.01'	19.69'	19.51'	N 32°07'41" W	26°13'21"
C2	55.52'	30.65'	30.26'	N 34°50'03" W	31°38'03"
C3	55.52'	6.06'	6.05'	N 53°46'36" W	6°15'03"
C4	20.51'	12.30'	12.11'	N 39°43'27" W	34°21'21"
C5	29.01'	5.90'	5.89'	S 24°58'12" W	11°39'28"



Plat of
Tract C49-A, Unit 4
Town of Atrisco Grant
Town of Atrisco Grant, Projected
Section 21, Township 10 North, Range 2 East, N.M.P.M.
Albuquerque, Bernalillo County, New Mexico
November 2021

COORDINATE AND DIMENSION INFORMATION				PLSS INFORMATION				PROPERTY INFORMATION				PROJECT INFORMATION	
STATE PLANE ZONE: NM-C	GRID/GROUND COORDINATES: GRID	TYPE: STANDARD		LAND GRANT TOWN OF ATRISCO GRANT		PROPERTY OWNER VOLCANO RV LP		PROPERTY OWNER VOLCANO RV LP		CREW/TECH: MC		DATE OF SURVEY 12/01-03/2020	
HORIZONTAL DATUM: NAD83	VERTICAL DATUM: NAVD88	ROTATION ANGLE: 0° 00' 00.00"	MATCHES DRAWING UNITS YES	SECTION 21	TOWNSHIP 10 NORTH	RANGE 2 EAST	MERIDIAN NMPM	SUBDIVISION NAME TOWN OF ATRISCO, UNIT 4		DRAWN BY: JK		CHECKED BY: LM	
CONTROL USED: ALBUQUERQUE GEODETIC REFERENCE SYSTEM				BASE POINT FOR SCALING AND/OR ROTATION: N = 0 E = 0		CITY ALBUQUERQUE		COUNTY BERNALILLO	STATE NM	UPC TRACT C49 100905746717740609 TRACT C48 100905748517640611		ADDRESS NOT ASSIGNED	
COMBINED SCALE FACTOR: GRID TO GROUND: 1.000318016 GROUND TO GRID: 0.999682085		DISTANCE ANNOTATION: GROUND	ELEVATION ANNOTATION: GRID	ELEVATION TRANSLATION: ±0.00'		ELEVATIONS VALID: NO		PSI JOB NO. 204146P		SHEET NUMBER 2 OF 2			



OFFICE LOCATION:
9200 San Mateo Boulevard, NE
Albuquerque, NM 87113
505.856.5700 PHONE
505.856.7900 FAX

Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: 'ava99secretary@gmail.com'
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - Avalon NA.pdf

Hi Neighborhood Representative –

You have been identified as a representative or an affected Neighborhood Association (by the City of Albuquerque Office of Neighborhood Coordination) for the proposed platting of Tracts C48 and C49 into a singular lot. These lots are located at the corner of Volcano Rd and Central Ave. You will see the proposed platting within the attached notification document.

Please feel free to reach out to myself or the Design Review Board (DRB) for additional information on the proposal.

Thanks,

Stephen Litsas, PE (CO, CA)

Kimley-Horn | 4582 South Ulster Street, Suite 1500, Denver, CO 80237

Direct: (720) 647-6231 | Main: (303) 228-2300

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#)

Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: avalon3a@yahoo.com
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - Avalon NA 2.pdf

Hi Neighborhood Representative –

You have been identified as a representative or an affected Neighborhood Association (by the City of Albuquerque Office of Neighborhood Coordination) for the proposed platting of Tracts C48 and C49 into a singular lot. These lots are located at the corner of Volcano Rd and Central Ave. You will see the proposed platting within the attached notification document.

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Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: ekhaley@comcast.net
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - Westside2.pdf

Hi Neighborhood Representative –

You have been identified as a representative or an affected Neighborhood Association (by the City of Albuquerque Office of Neighborhood Coordination) for the proposed platting of Tracts C48 and C49 into a singular lot. These lots are located at the corner of Volcano Rd and Central Ave. You will see the proposed platting within the attached notification document.

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Direct: (720) 647-6231 | Main: (303) 228-2300

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Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: aboard111@gmail.com
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - Westside.pdf

Hi Neighborhood Representative –

You have been identified as a representative or an affected Neighborhood Association (by the City of Albuquerque Office of Neighborhood Coordination) for the proposed platting of Tracts C48 and C49 into a singular lot. These lots are located at the corner of Volcano Rd and Central Ave. You will see the proposed platting within the attached notification document.

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Kimley-Horn | 4582 South Ulster Street, Suite 1500, Denver, CO 80237

Direct: (720) 647-6231 | Main: (303) 228-2300

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#)

Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: 'luis@wccdg.org'
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - SWAN2.pdf

Hi Neighborhood Representative –

You have been identified as a representative or an affected Neighborhood Association (by the City of Albuquerque Office of Neighborhood Coordination) for the proposed platting of Tracts C48 and C49 into a singular lot. These lots are located at the corner of Volcano Rd and Central Ave. You will see the proposed platting within the attached notification document.

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Kimley-Horn | 4582 South Ulster Street, Suite 1500, Denver, CO 80237

Direct: (720) 647-6231 | Main: (303) 228-2300

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#)

Litsas, Stephen

From: Litsas, Stephen
Sent: Tuesday, November 16, 2021 12:21 PM
To: jgallegoswccd@gmail.com
Subject: Notice: Proposed Platting of Nearby Lot
Attachments: DRB Plat - SWAN.pdf

Hi Neighborhood Representative –

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Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#)



4/16/2021

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: RV Storage – Albuquerque: Sensitive Lands Analysis

Dear DRB,

Kimley-Horn has performed a Sensitive Lands Analysis, documenting the following below:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard Areas	None	See attached FEMA Floodplain Maps
Steep Slopes	None	See attached survey. The site is evenly graded
Unstable Soils	None	See attached survey. The site is evenly graded
Wetlands (constant supply of water)	None	See attached FEMA Floodplain Maps. Additionally, no areas of standing water were observed on site
Arroyo	None	No Arroyo's are documented on the site from AMAFCA. In addition, none have been picked up on the site survey.
Irrigation Facilities	None	See attached survey. None have been identified.
Escarpment	None	See attached survey. No areas of escarpment have been identified
Large stands of mature trees	None	See attached survey. All trees are located off-site
Archeological sites	None	See attached archeological evaluation. No archeological issues have been uncovered.

In conclusion, none of the above features have been determined to be present on this site. Various attached documents support our findings.

Sincerely,

Stephen Litsas
Kimley-Horn

*Tracts C48 and C49, Unit 4
Tracts Allotted from the
Town of Atrisco Grant
Albuquerque, Bernalillo County, New Mexico
December 2020*



N 90°00'00" E MEASURED BEARING AND DISTANCES
(N 90°00'00" E) RECORD BEARINGS AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

⊙ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "P3 11993" SET THIS SURVEY

△ CONTROL POINT SET THIS SURVEY

● FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

UTILITY POLE

— GUY WIRE

TEL TELEPHONE PEDESTAL

⚡ FIRE HYDRANT

⊙ SANITARY SEWER MANHOLE

⊕ STORM SEWER MANHOLE

— SIGN

MAILBOX

— OVERHEAD UTILITY LINE

— SANITARY SEWER LINE

— CHAIN LINK FENCE

— EDGE OF ASPHALT

— STORM SEWER LINE

— WATER LINE

PROJECT INFORMATION	
CREW/TECH: MC	DATE OF SURVEY 12/01-03/2020
DRAWN BY: JK	CHECKED BY: LM
PSI JOB NO. 204146AL	SHEET NUMBER 2 OF 2



1. Southwest corner looking north



2. Southwest corner looking northeast



3. Southwest corner looking east



4. Drainage ditch along west property line



5. Overview looking west to east



6. Northwest corner looking south



7. Northwest corner looking southeast



8. Northwest corner looking east



9. Debris onsite



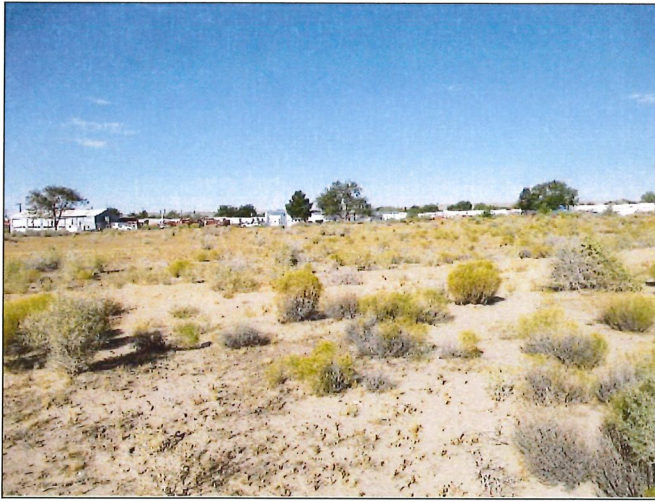
10. Northeast corner looking west



11. Northeast corner looking toward center



12. Northeast corner looking south



13. Overview looking east to west



14. Overview looking south to north



15. Southeast corner looking north



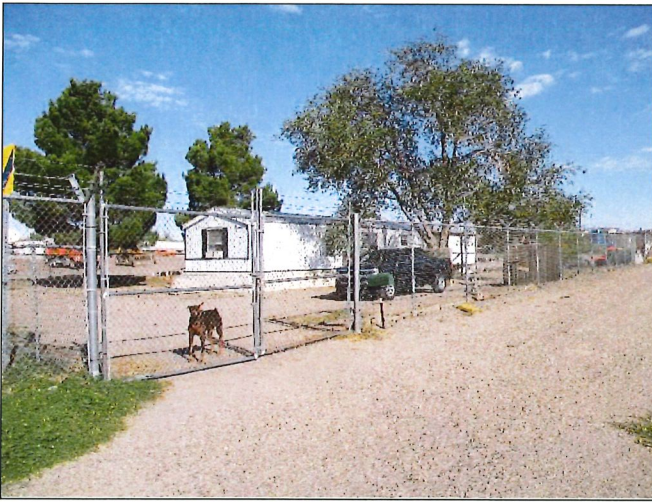
16. Volcano road along south property line



17. West adjacent property



18. ASTs on west adjacent property



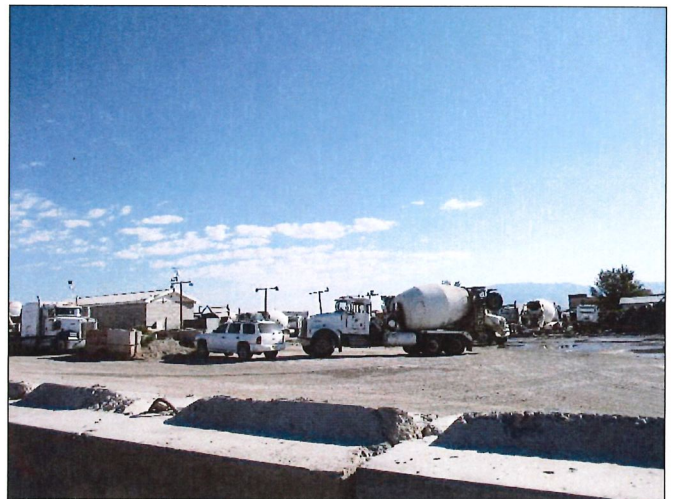
19. West adjacent property



20. North adjacent property



21. East adjacent property



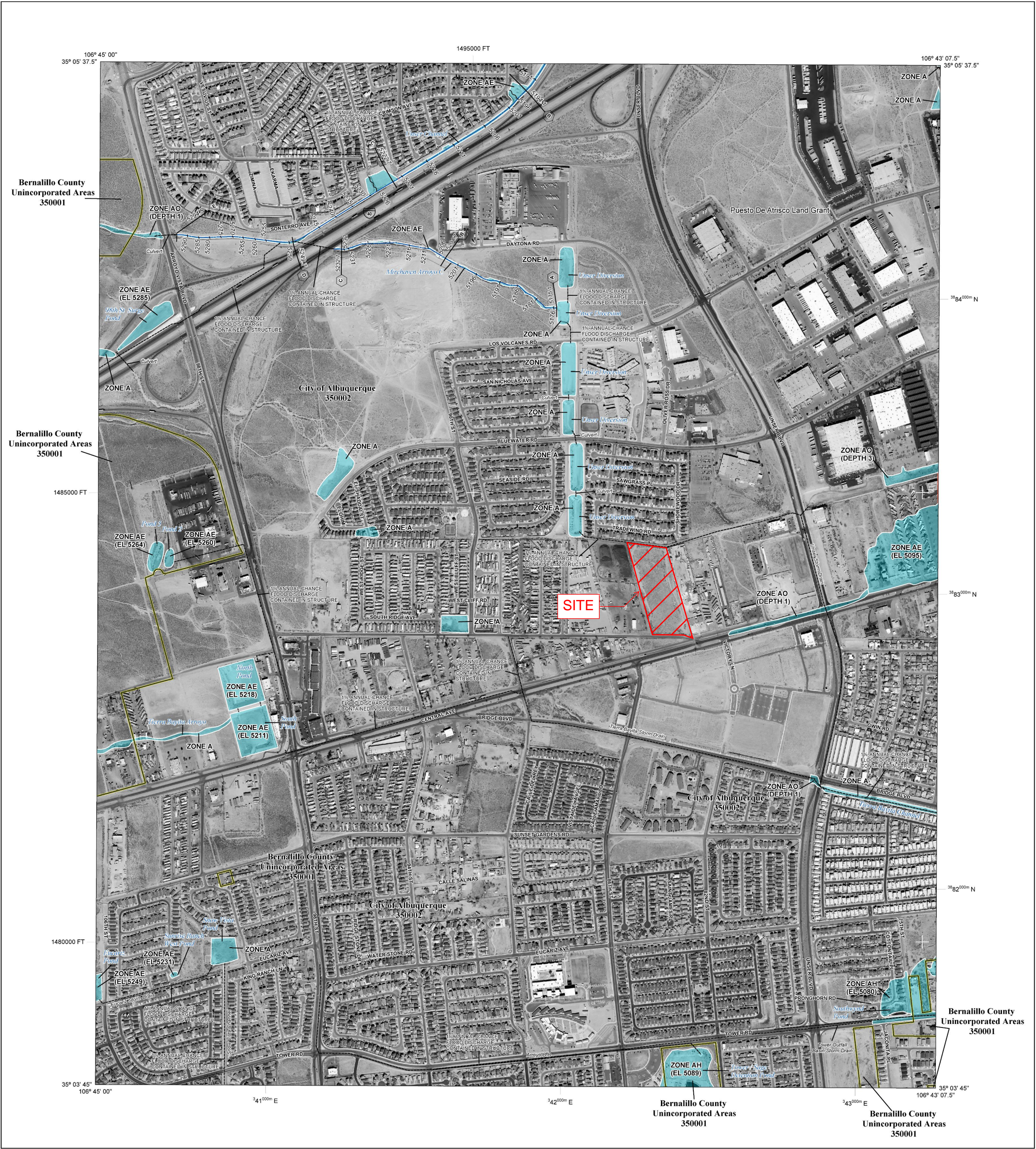
22. East adjacent property



23. East adjacent property



24. South adjacent property



FLOOD HAZARD INFORMATION

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING
DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT
[HTTP://MSC.FEMA.GOV](http://MSC.FEMA.GOV)

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee See Notes, Zone X
OTHER AREAS		Areas Determined to be Outside the 0.2% Annual Chance Floodplain Zone X
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary

NOTES TO USERS

For information and questions about this Flood Insurance Rate Map (FIRM), available products associated with this FIRM including historic versions of this FIRM, the current map date of each FIRM panel, how to order products or the National Flood Insurance Program (NFIP) in general, please call the FEMA Map Information eXchange at 1-877-FEMA-MAP (1-877-366-6227) or visit the FEMA Flood Map Service Center website at <http://msc.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website.

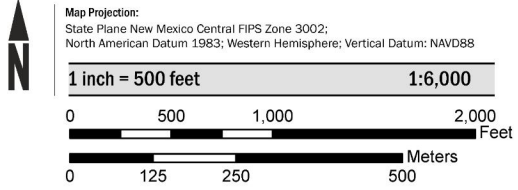
Communities annexing land on adjacent FIRM panels must obtain a current copy of the adjacent panel as well as the current FIRM index. These may be ordered directly from the Flood Map Service Center at the number listed above.

For community and countywide map dates refer to the Flood Insurance Study report for this jurisdiction.

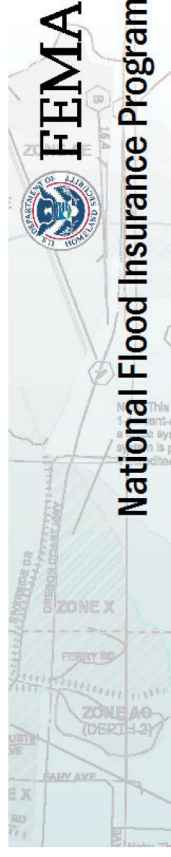
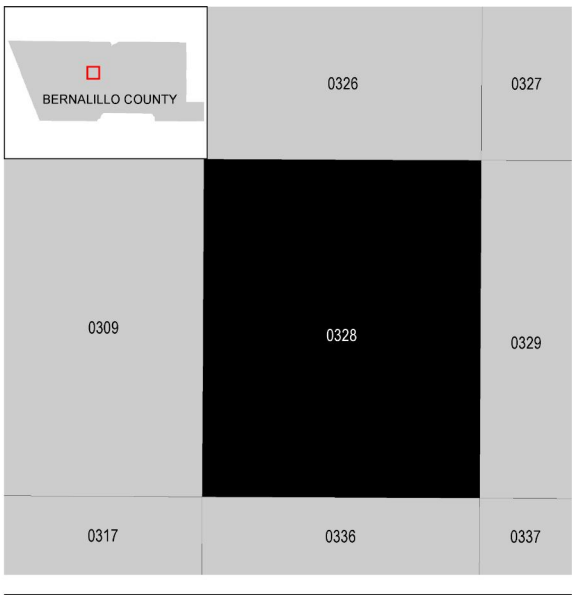
To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

This information was derived from digital orthophotography dated 2014. Additional information pertaining to road names and political boundaries were provided by the City of Albuquerque, 2014.

SCALE



PANEL LOCATOR



NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO
and Incorporated Areas
PANEL 328 of 825

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF BERNALILLO COUNTY	350002 350001	0328 0328	J J

Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF BERNALILLO COUNTY	350002 350001	0328 0328	J J

Panel Contains:

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Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF BERNALILLO COUNTY	350002 350001	0328 0328	J J

VERSION NUMBER
2.3.3.2

MAP NUMBER
35001C0328J

MAP REVISED
NOVEMBER 4, 2016

Litsas, Stephen

From: Jim Kirkpatrick <jim@presurv.com>
Sent: Wednesday, October 27, 2021 8:33 AM
To: Planning Plat Approval
Cc: Larry Medrano; Joyce Paywa
Subject: DXF request for Tract C49-A, Unit 4 Town of Atrisco Grant COA Project No. PR-2020-004757
Attachments: PR-2020-004757.dxf; 204146P.pdf

Good Morning

Attached is a DXF file and pdf of plat for Tract C49-A, Unit 4 Town of Atrisco Grant COA Project No. PR-2020-004757, The coordinate system used was NAD 1983, Central Zone. File provided is based on grid coordinates for the referenced system. Let me know if you have any questions.

Jim Kirkpatrick
Senior CAD Technician



Physical
9200 San Mateo Blvd, N.E.
Albuquerque, NM 87113

505-856-5700 phone
505-856-7900 fax